

INSPECTION REPORT



For the Property at:
2222 SUNNYSLOPE RD
MEQUON, WI 53097

Prepared for: MR. & MRS. SMITH
Inspection Date: Thursday, July 7, 2023
Prepared by: Michael Schwitzer



1st Choice Inspection
1603 Rockridge Way
Waukesha, WI 53188
414-803-9678

www.1stchoiceinspectionwi.com
info@1stchoiceinspectionwi.com



INVOICE

July 7, 2023

Client: Mr. & Mrs. Smith

Report No. 1420
For inspection at:
2222 Sunnyslope Rd
Mequon, WI
53097
on: Thursday, July 7, 2023

Home inspection	\$450.00
Radon Test	\$150.00
Radon Discount with Inspection	(\$50.00)
Total	<u>\$550.00</u>

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SUMMARY - THE BOTTOM LINE

2222 Sunnyslope Rd, Mequon, WI July 7, 2023

Report No. 1420

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- SUMMARY - T
- ROOFING
- EXTERIOR
- STRUCTURE
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Notice to all Buyers and Sellers regarding Defects

A recent Wisconsin statute requires that the inspector use the term defect in describing certain conditions. The statute includes a specific definition of the term defect. If this inspection relates to a Purchase Contract (accepted offer to purchase), it is likely that the Purchase Contract uses a definition of the term defect that is materially different from the definition in the inspection statute.

As your home inspector I express no opinion as to whether any condition referred to in the inspection report constitutes a defect as defined in any Purchase Contract.

If you have questions about these different definitions of defect or how any condition described in the inspection report affects the rights and obligations of buyers and sellers under your Purchase Contract, please consult your realtor or your attorney.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Metal

Condition: • [Leak](#)

The roof of the 3 season room leaks. This will need to be resealed.

Implication(s): Chance of water damage to structure, finishes and contents



1. Leak



2. Leak

SLOPED ROOFING \ Composition shingles

Condition: • Moss visible on shingles

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3. Moss, mildew, etc.

SLOPED ROOF FLASHINGS \ Chimney flashings

Condition: • Chimney being rebuilt. New flashed should be installed. Remove old flashing.



4. Old flashing

Exterior

ROOF DRAINAGE \ Gutters

Condition: • [Missing](#)

missing gutter on the dormer for the second floor room. They should be installed to prevent splash on wood siding. Help to prevent wood rot.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Replacement

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Gutter and downspout installation



5. Missing gutters

Condition: • Dirty/debris

Debris from chimney rebuilt in gutters. This needs to be fully removed.

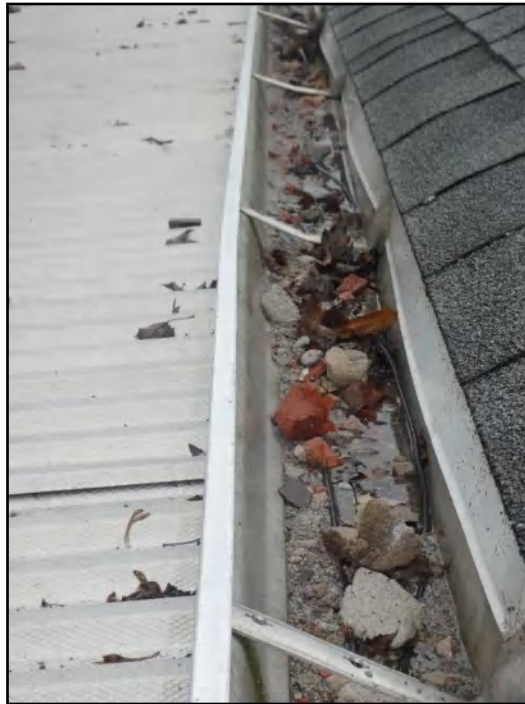
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6. Dirty/debris

Condition: • No kick-out flashing

There is no kickout flashing where there should be. Also the gutter on the roof will trap water under the second floor overhang. Potential for wood rot.

Task: Defect - Repair Maintenance Item



7. No kick-out flashing



8. No kick-out flashing

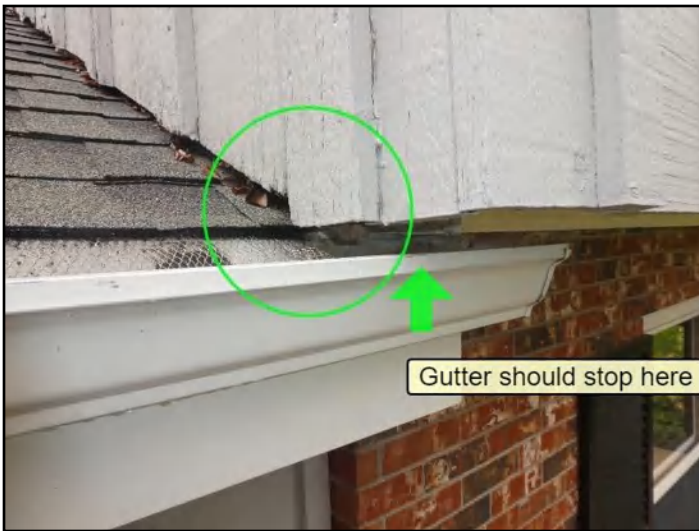
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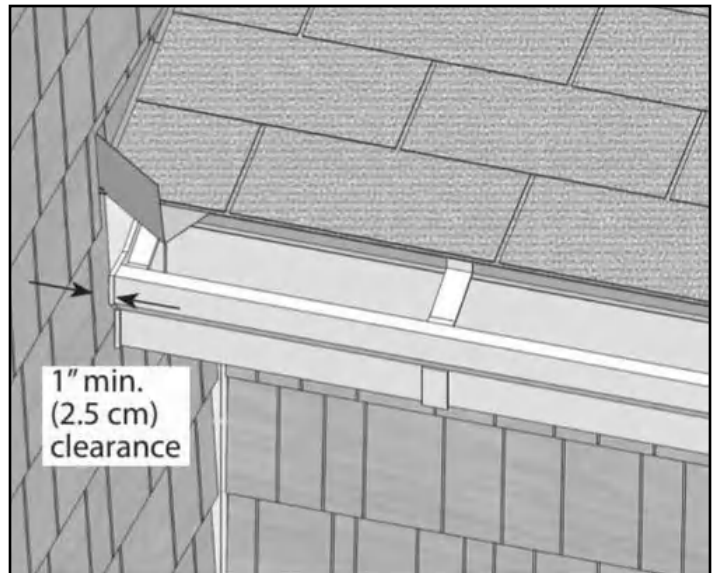
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9. No kick-out flashing



10. No kick-out flashing

ROOF DRAINAGE \ Downspouts

Condition: • [Discharge onto roofs](#)

Implication(s): Chance of water damage to structure, finishes and contents



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11. Discharge onto roofs

12. Discharge onto roofs

Condition: • Downspout discharges on sidewalk. This needs to be corrected.

Down spouts draining on sidewalk is a trip hazard.

Task: Defect - Safety Issue



13. Downspout discharges on sidewalk. This...

WALLS \ General notes

Condition: • Animal damage

Condition: • Wood rot

Condition: • Visible insulation on right side of home below the second story. This should be properly covered with wood.

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14. Steel wool being used to prevent animal entry



15. Visible insulation



16. Visible insulation

Condition: • Animal damage

Animals have chewn through the wood on the 3 season room. This will need to be corrected.

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17. Animal damage

Condition: • Wood rot

Wood rot visible on 3 season room.

Task: Defect - Repair Maintenance Item



18. Wood rot



19. Wood rot

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20. Wood rot



21. Wood rot

WALLS \ Wood siding

Condition: • The bottom few inches of the wood siding on the second story is rotting due to age and lack of maintenance.

Task: Defect - Repair Maintenance Item



22. High moisture in siding



23. High moisture in siding

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24. High moisture in siding



25. High moisture in siding

EXTERIOR GLASS/WINDOWS \ General notes

Condition: • Limestone sill

The window sills need to be properly mortared to the home. The current mortar is cracking which will allow water to penetrate behind the brick and cause future damage.



26. Limestone sill



27. Limestone sill

EXTERIOR GLASS/WINDOWS \ Sashes

Condition: • [Loose fit](#)

The left sash open is too large and the window will slip and not engage when lifting.

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Implication(s): Chance of water entering building | Increased heating and cooling costs | Reduced comfort

Task: Safety Issue



28. Loose fit

EXTERIOR GLASS/WINDOWS \ Frames

Condition: • Rot

The sill of the window is completely rotten and will need to be replaced.

Implication(s): Material deterioration

Task: Defect - Repair Maintenance Item



29. Rotting window sill

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Spindles \(balusters\) too far apart](#)

Implication(s): Fall hazard

Task: Defect - Safety Issue

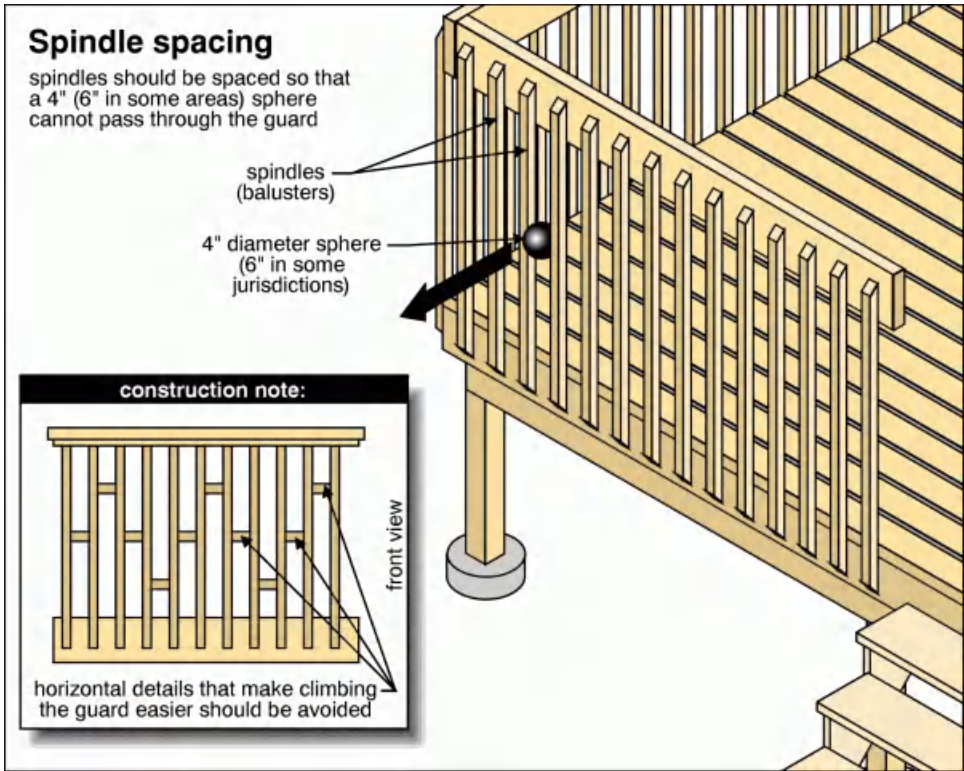
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30. Spindles (balusters) too far apart



31. Spindles (balusters) too far apart

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32. Spindles (balusters) too far apart



33. Spindles (balusters) too far apart

LANDSCAPING \ General notes

Condition: • Trees to close to house. Trim back.



34. Trees to close to house. Trim back.



35. Trees to close to house. Trim back.

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36. Trees to close to house. Trim back.



37. Trees to close to house. Trim back.



38. Trees to close to house. Trim back.

LANDSCAPING \ Walkway

Condition: • [Improper slope or drainage](#)

The walkway from the driveway to the front door has dropped, sagged and improperly sloped. This will need to be addressed as additional water is penetrating the foundation and is visible on the interior of the home.

Implication(s): Chance of water damage to structure, finishes and contents

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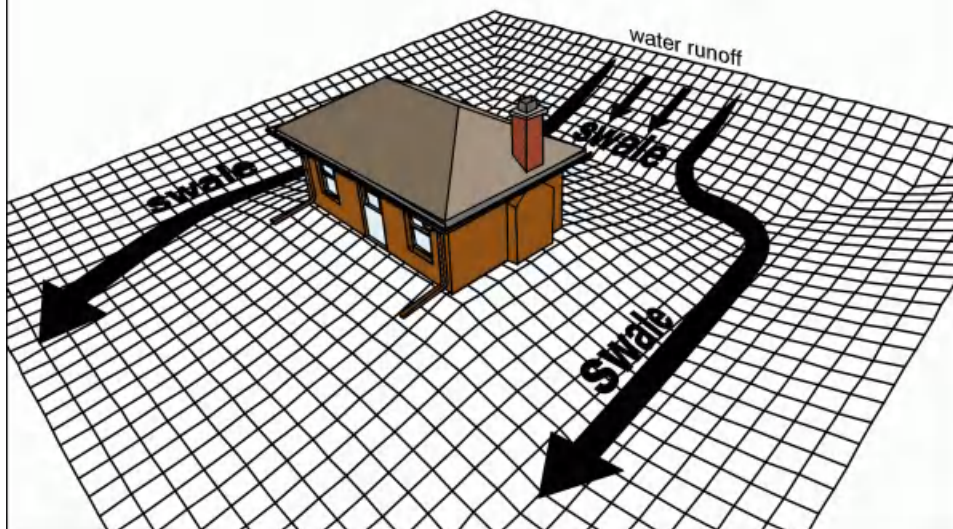
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Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



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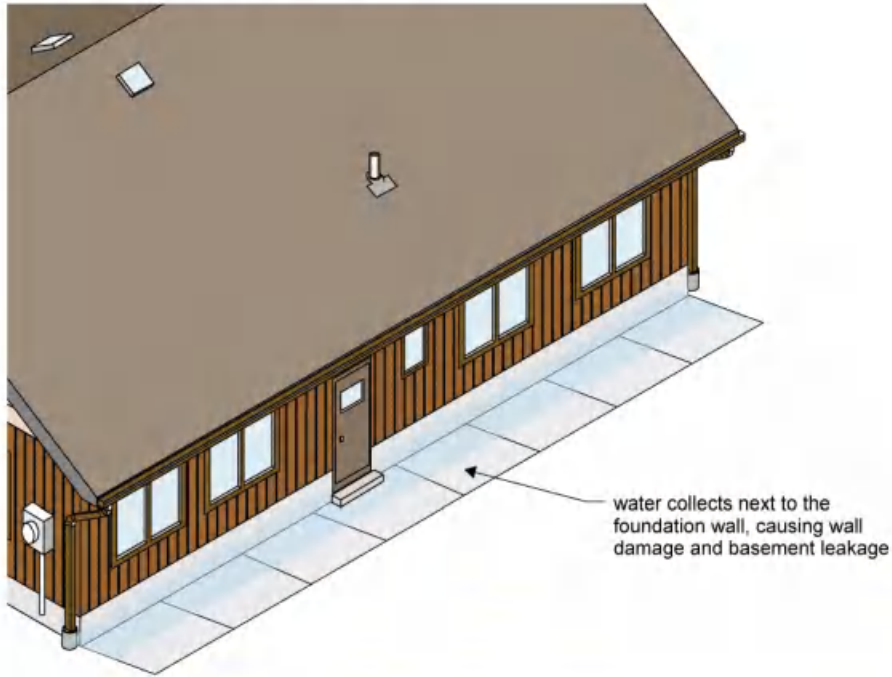
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Walk/patio sloping towards house



39. Improper slope or drainage



40. Improper slope or drainage

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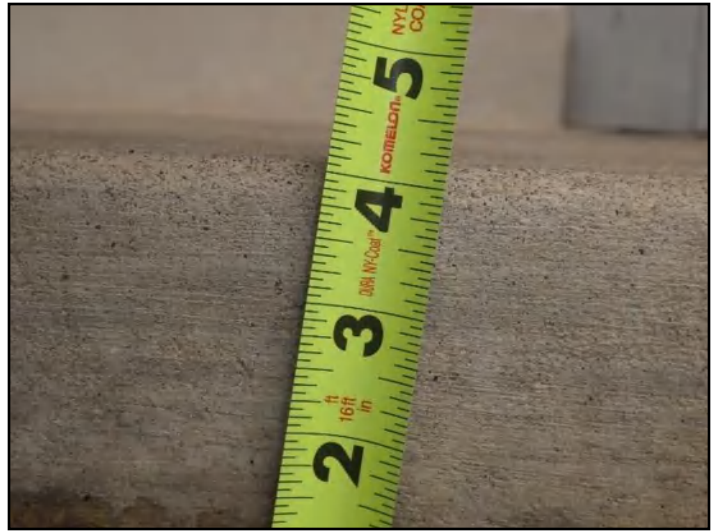
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41. *Improper slope or drainage*



42. *Improper slope or drainage*



43. *Improper slope or drainage*



44. *Improper slope or drainage*

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45. *Improper slope or drainage*

LANDSCAPING \ Patios

Condition: • Improper slope or drainage

The concrete patio in the back slopes towards the foundation as well as the steps and walk that comes from the garage. This will need to be mud-jacked or removed and replaced.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Defect - Repair Maintenance Item



46. *Improper slope or drainage*



47. *Improper slope or drainage*

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48. Improper slope or drainage



49. Improper slope or drainage



50. Improper slope or drainage

GARAGE \ Vehicle door operators

Condition: • Wall switch shuts power to opener because it is not on a dedicated outlet. This will need to be corrected.

Task: Defect - Safety Issue

Condition: • Sensors missing

Task: Defect - Safety Issue

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Structure

FOUNDATIONS \ General notes

Condition: • Visible water on foundation wall.



51. moisture on foundation wall



52.

Condition: • Dirt floor in crawl space

Condition: • Dirt floor in crawl space

The dirt floor will need to be corrected due to the high radon levels in basement.

Task: Defect - Safety Issue



53. Dirt floor in crawl space

FLOORS \ Columns or piers

Condition: • Improper support

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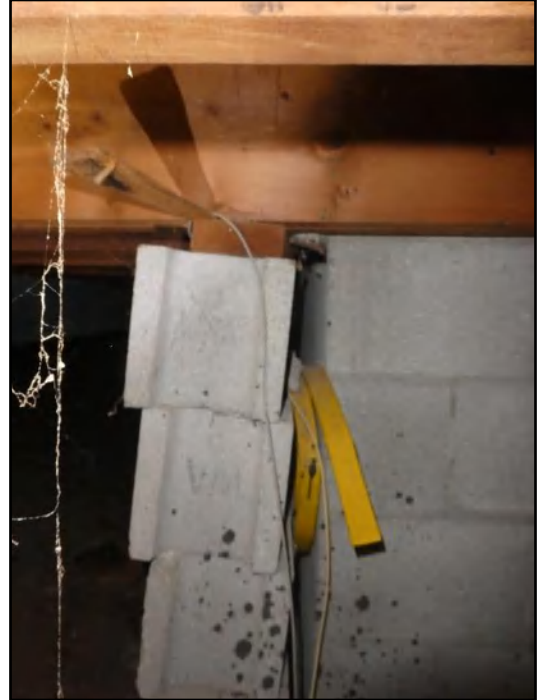
Condition: • Improper support

Cement block on unstable soil used for supports. Remove and correct by a licensed contractor.

Task: Defect-improper repair



54. Improper support



55. Improper support



56. Improper support

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Electrical

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • Garage door opens needs dedicated outlet

Task: Defect - Safety Issue



57. Open needs own outlet

Condition: • Unprofessional work. Consult licensed electrician to correct issues.



58. Unprofessional work. Consult licensed...



59. Unprofessional work. Consult licensed...

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Heating

CHIMNEY AND VENT \ Masonry chimney

Condition: • Being rebuilt. The visible flue needs attention. Also the clay liner below the new one is cracked and should be replaced. A flue liner is also needed for the water heater and will need to be installed.

Task: Defect - improper repair



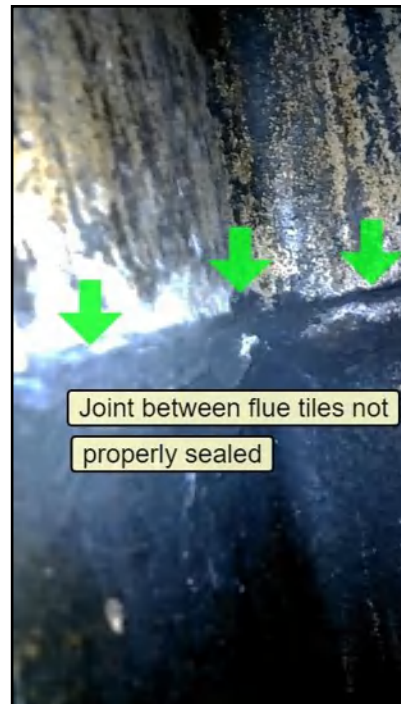
60. Chimney rebuild



61. Poor flue repair



62. Chimney rebuild



63.

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Insulation and Ventilation

ATTIC/ROOF \ Hatch/Door

Condition: • [Not weatherstripped](#)

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs

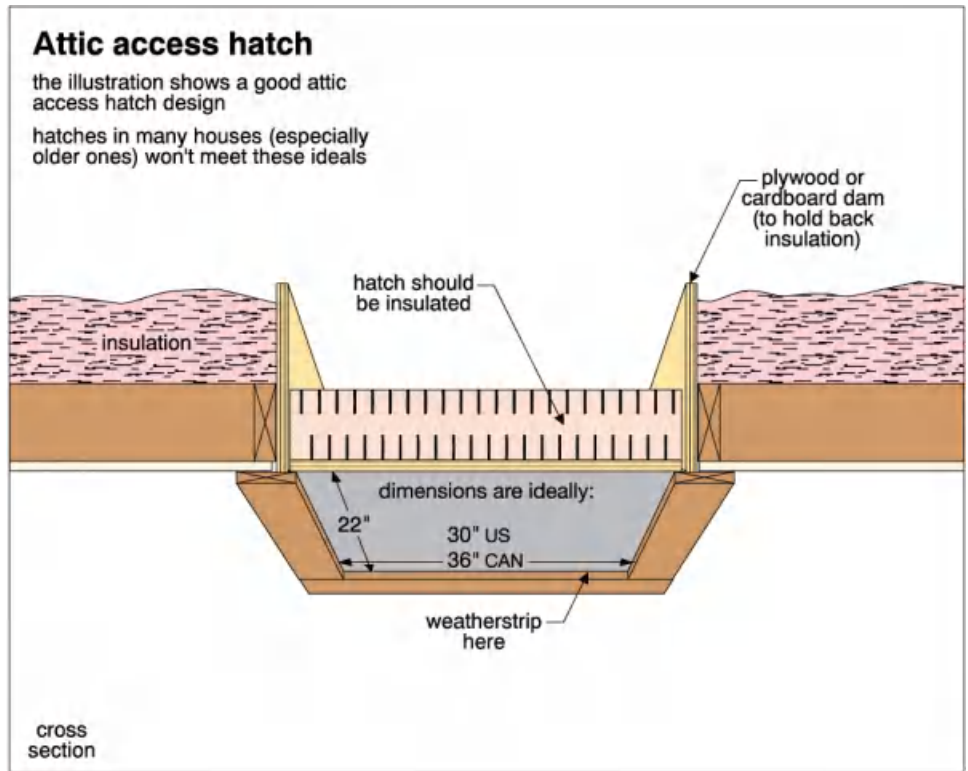
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65. Not weatherstripped

ATTIC/ROOF \ Roof vents

Condition: • Missing baffles

Condition: • Missing baffles

The attic is not properly breathing. Not enough intake air in to the attic. Installed baffles at the soffit vents.

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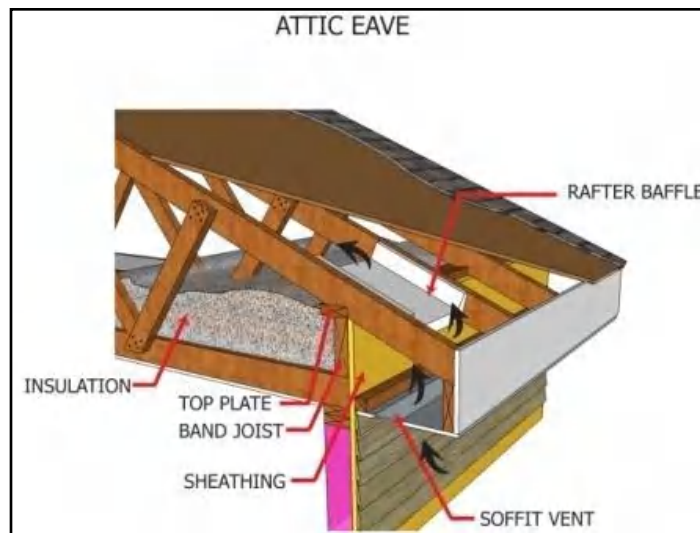
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66. Missing baffles

67. Missing baffles



68. Missing baffles

Plumbing

WATER HEATER \ General notes

Condition: • Corrosion at valve. Leaking and should be replaced.

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69. Leaking valve



70. Leaking valve



71.



72. Leaking valve

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73.

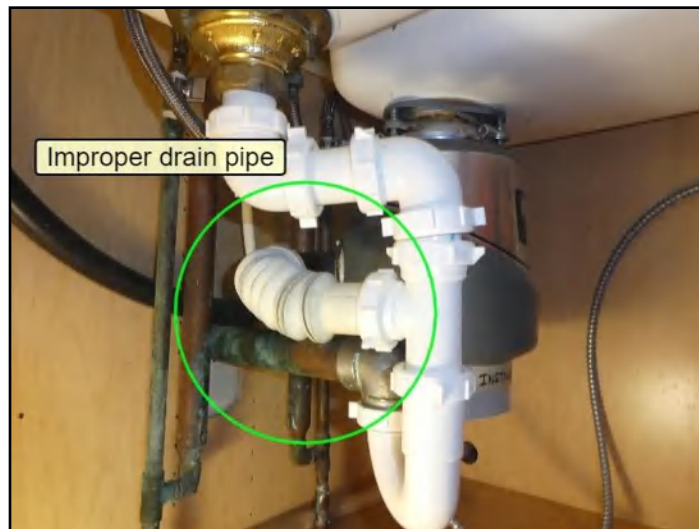
WASTE PLUMBING \ Drain piping - installation

Condition: • [Nonstandard materials and patches](#)

Correct by licensed plumber

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building

Task: Defect- improper installation



74. *Nonstandard materials and patches*

Condition: • Cast iron main stack

The lead joints on the main stack are not properly sealing the pipe. Water is able to get outside the pipe. Re-seal joints

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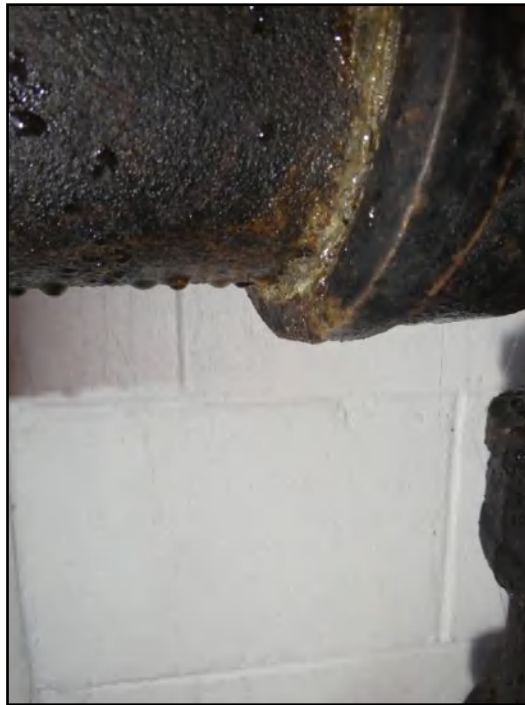
of main stack.



75. Cast iron main stack



76. Cast iron main stack



77. Cast iron main stack

WASTE PLUMBING \ Venting system

Condition: • Poor location for vent stack. Should replaced rubber boot as the repairs to rubber gasket are excessive.

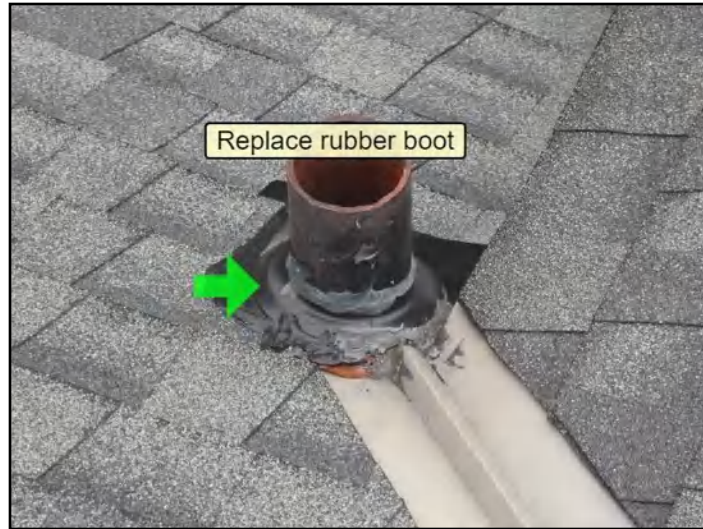
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78. Vent stack

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

Condition: • Missing back flow preventor



79. Missing back flow preventor

FIXTURES AND FAUCETS \ Toilet

Condition: • Handle damage

The toilet handle in the 1/2 bath on first floor needs to be replaced as it is damaged and does not properly flush.

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80. Handle damage

Interior

APPLIANCES \ Dishwasher

Condition: • Air gap issues

The air gap for the dish washer is not properly installed. Correct by licensed plumber.

Task: Defect - Safety Issue



81. Air gap issues

APPLIANCES \ Washing machine

Condition: • Missing stand pipe

Laundry tub upgrade required a wash machine stand pipe be installed. This is missing and washer should not discharge in tub.

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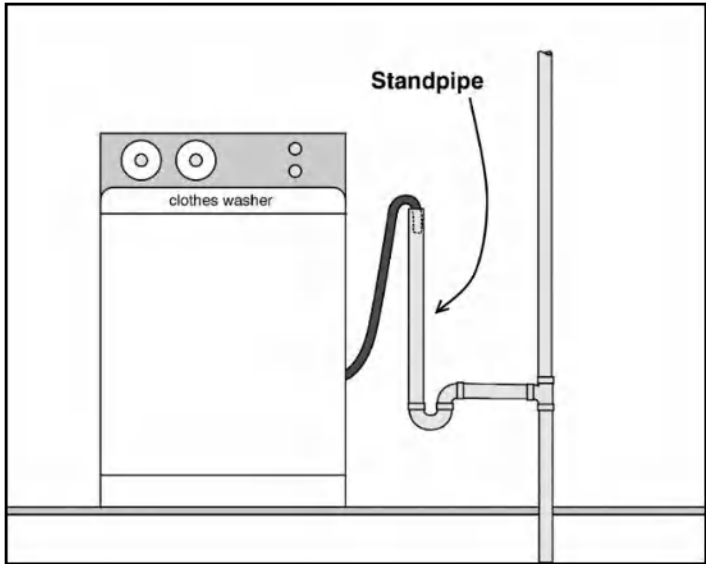
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SITE INFO	APPENDIX	REFERENCE							



82. Missing stand pipe



83. Missing stand pipe

This summary page is provided for convenience and is not a substitute for reading the entire report and should not be relied upon as the complete list for the client's reference.

For the purposes of the report, Defect, as defined in section 440.97 (2m), Wis. Stats., means: A condition of any component of an improvement that a home inspector determines, on the basis of the home inspector's judgment on the day of an inspection, would significantly impair the health or safety of occupants of a property or that, if not repaired, removed, or replaced, would significantly shorten or adversely affect the expected normal life of the component of the improvement.

The contract of sale may define Defect to also include a condition that would have a significant adverse effect on the value of the property, but such a condition may not be labeled a defect in the report unless it meets the definition in section 440.97 (2m), Wis. Stats.

A home inspector may not report on the market value or marketability of a property or whether a property should or should not be purchased.

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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Observations and Recommendations

SLOPED ROOFING \ Metal

1. Condition: • [Leak](#)

The roof of the 3 season room leaks. This will need to be resealed.

Implication(s): Chance of water damage to structure, finishes and contents



84. Leak



85. Leak

SLOPED ROOFING \ Composition shingles

2. Condition: • [Granule loss](#)

Implication(s): Shortened life expectancy of material

3. Condition: • Moss visible on shingles



86. Moss, mildew, etc.

SLOPED ROOF FLASHINGS \ Chimney flashings

4. Condition: • Chimney being rebuilt. New flashed should be installed. Remove old flashing.

ROOFING

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87. Old flashing

General Information

- The home is considered to face:** • North
- Sloped roofing material:** • Architectural shingles
- Sloped roof flashing material:** • Aluminum
- Probability of leakage:** • Low
- Typical life expectancy:** • 25-30 years

Inspection Methods & Limitations

- Roof inspection limited/prevented by:** • Wet roof surface hides flaws
- Inspection performed:** • By walking on roof

EXTERIOR

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Observations and Recommendations

ROOF DRAINAGE \ Gutters

5. Condition: • [Missing](#)

missing gutter on the dormer for the second floor room. They should be installed to prevent splash on wood siding. Help to prevent wood rot.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Replacement



88. Missing gutters

EXTERIOR

2222 Sunnyslope Rd, Mequon, WI July 7, 2023

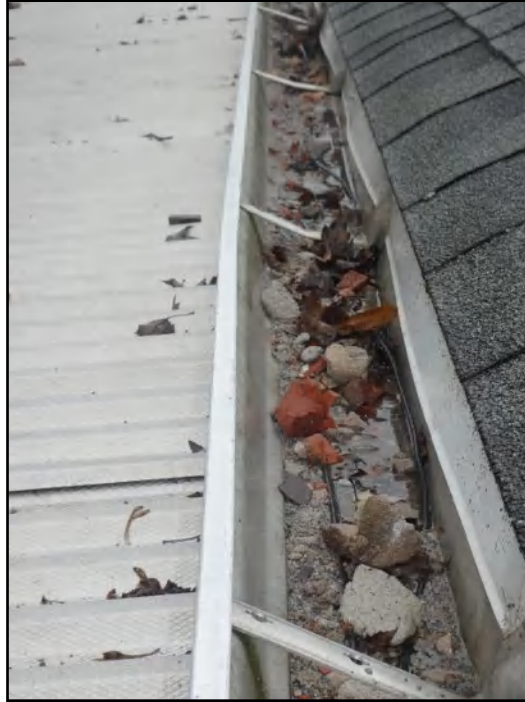
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SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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6. Condition: • Dirty/debris

Debris from chimney rebuilt in gutters. This needs to be fully removed.



89. Dirty/debris

7. Condition: • No kick-out flashing

There is no kickout flashing where there should be. Also the gutter on the roof will trap water under the second floor overhang. Potential for wood rot.

Task: Defect - Repair Maintenance Item

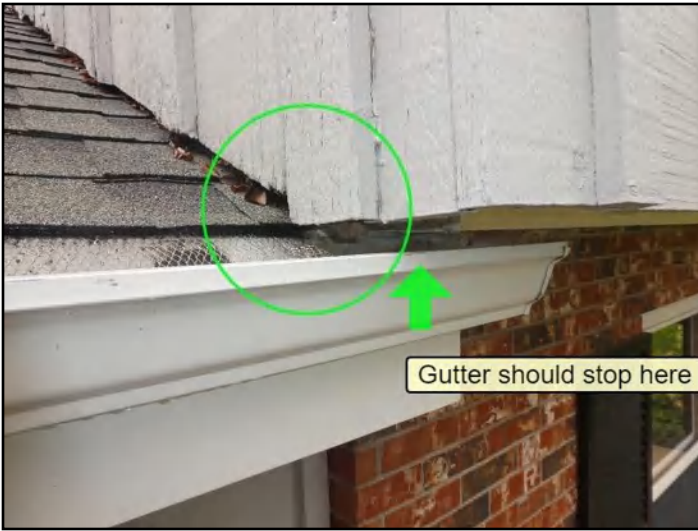


90. No kick-out flashing

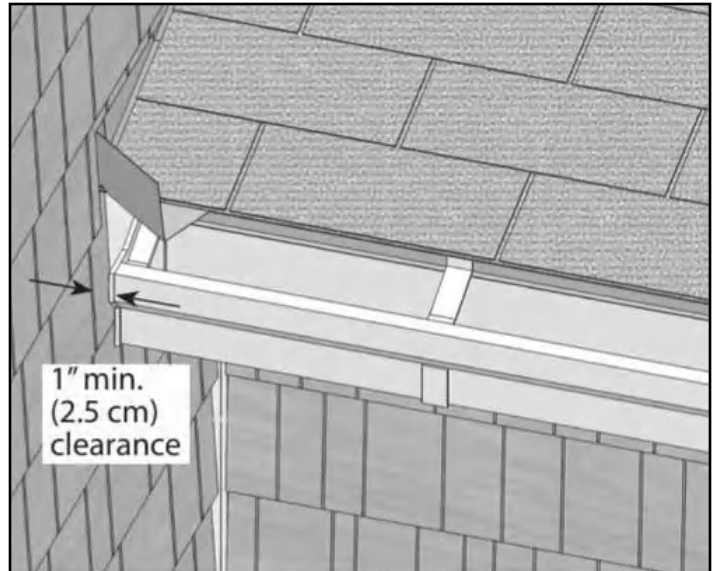


91. No kick-out flashing

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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92. No kick-out flashing



93. No kick-out flashing

ROOF DRAINAGE \ Downspouts

8. Condition: • [Discharge onto roofs](#)

Implication(s): Chance of water damage to structure, finishes and contents



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94. Discharge onto roofs

95. Discharge onto roofs

9. Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to structure, finishes and contents



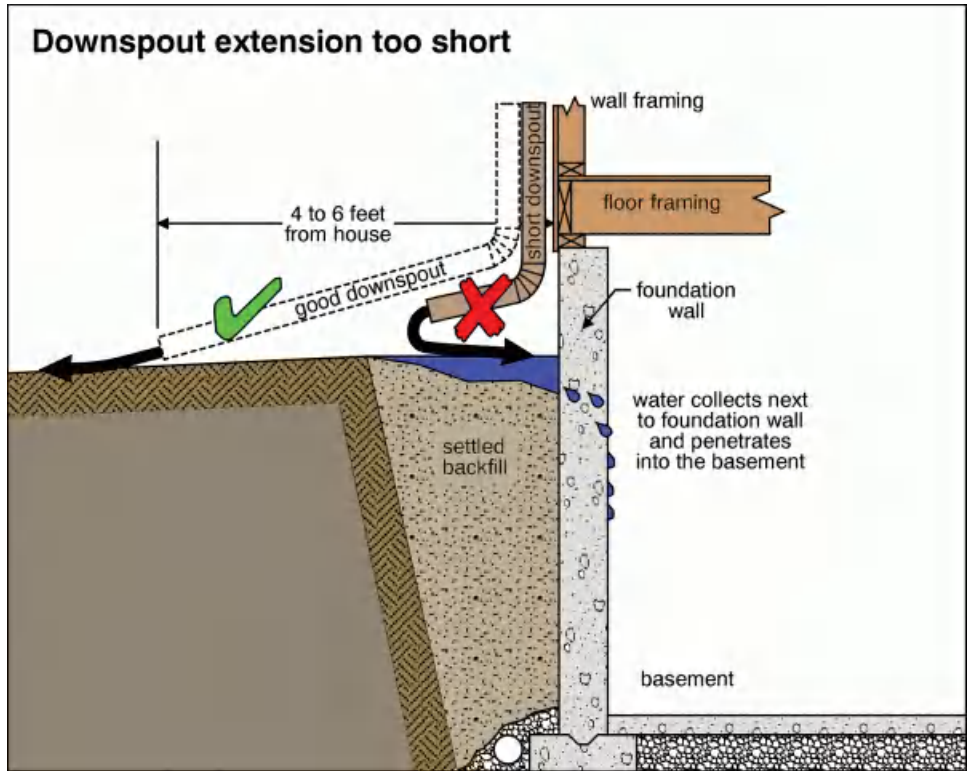
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10. Condition: • Downspout discharges on sidewalk. This needs to be corrected.

Down spouts draining on sidewalk is a trip hazard.

Task: Defect - Safety Issue



96. Downspout discharges on sidewalk. This...

WALLS \ General notes

11. Condition: • Animal damage

Animals have chewn through the wood on the 3 season room. This will need to be corrected.

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97. Animal damage

12. Condition: • Wood rot

Wood rot visible on 3 season room.

Task: Defect - Repair Maintenance Item



98. Wood rot



99. Wood rot

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100. Wood rot

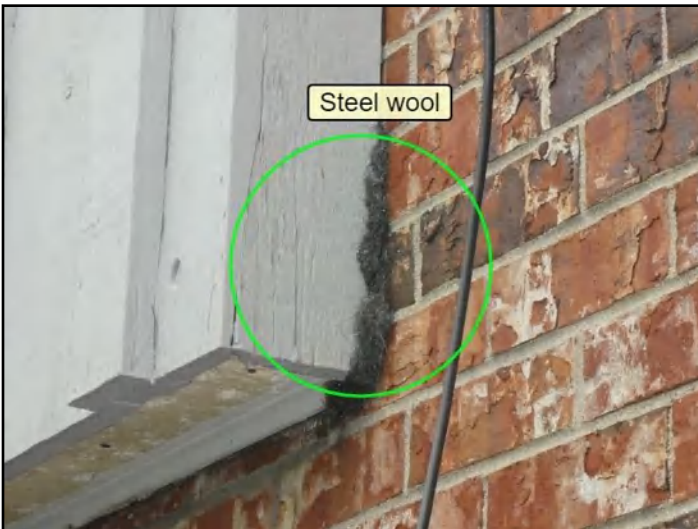


101. Wood rot

13. **Condition:** • Animal damage

14. **Condition:** • Wood rot

15. **Condition:** • Visible insulation on right side of home below the second story. This should be properly covered with wood.



102. Steel wool being used to prevent animal entry



103. Visible insulation

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104. Visible insulation

WALLS \ Wood siding

16. Condition: • The bottom few inches of the wood siding on the second story is rotting due to age and lack of maintenance.

Task: Defect - Repair Maintenance Item



105. High moisture in siding



106. High moisture in siding

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107. High moisture in siding



108. High moisture in siding

EXTERIOR GLASS/WINDOWS \ General notes

17. Condition: • Limestone sill

The window sills need to be properly mortared to the home. The current mortar is cracking which will allow water to penetrate behind the brick and cause future damage.



109. Limestone sill



108. Limestone sill

EXTERIOR GLASS/WINDOWS \ Sashes

18. Condition: • [Loose fit](#)

The left sash open is too large and the window will slip and not engage when lifting.

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Implication(s): Chance of water entering building | Increased heating and cooling costs | Reduced comfort

Task: Safety Issue



111. Loose fit

EXTERIOR GLASS/WINDOWS \ Frames

19. Condition: • Rot

The sill of the window is completely rotten and will need to be replaced.

Implication(s): Material deterioration

Task: Defect - Repair Maintenance Item



112. Rotting window sill

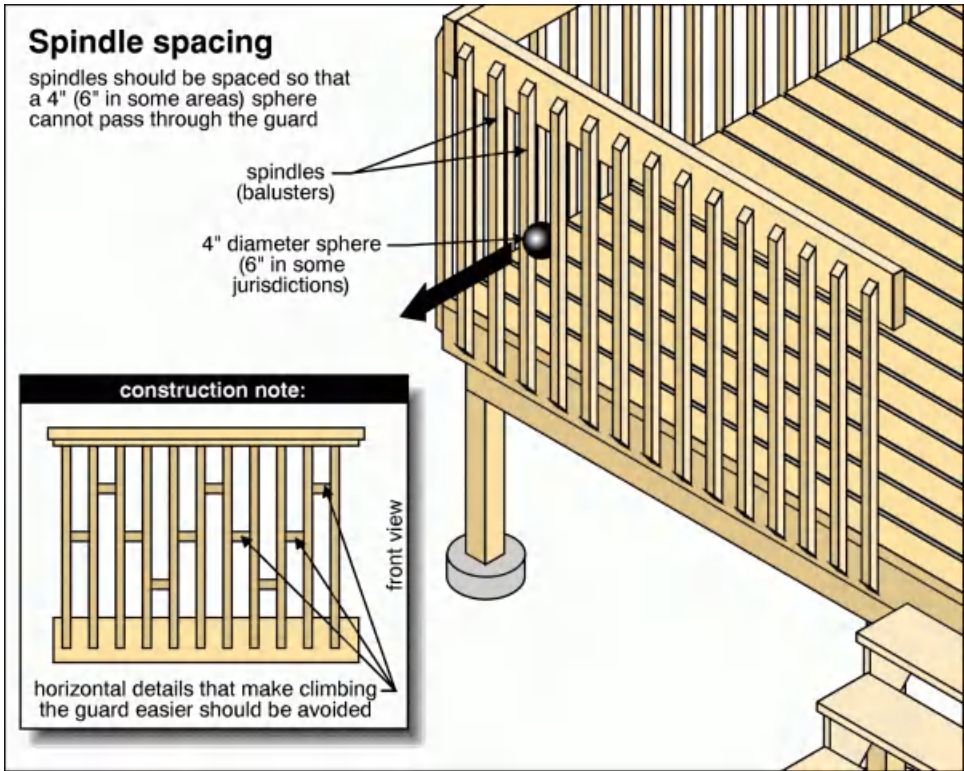
PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

20. Condition: • [Spindles \(balusters\) too far apart](#)

Implication(s): Fall hazard

Task: Defect - Safety Issue

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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113. Spindles (balusters) too far apart



114. Spindles (balusters) too far apart

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115. Spindles (balusters) too far apart



108. Spindles (balusters) too far apart

LANDSCAPING \ General notes

21. Condition: • Trees to close to house. Trim back.



117. Trees to close to house. Trim back.



118. Trees to close to house. Trim back.

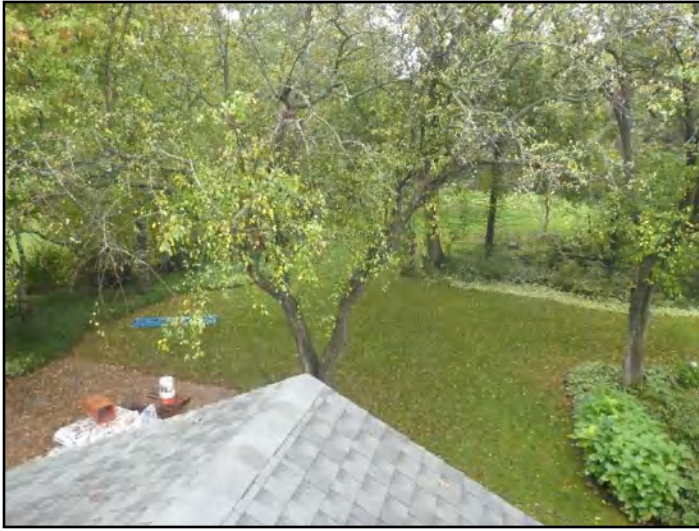
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119. Trees to close to house. Trim back.



120. Trees to close to house. Trim back.



121. Trees to close to house. Trim back.

22. Condition: • Shrubs to close to home

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122. Shrubs to close to home



123. Shrubs to close to home

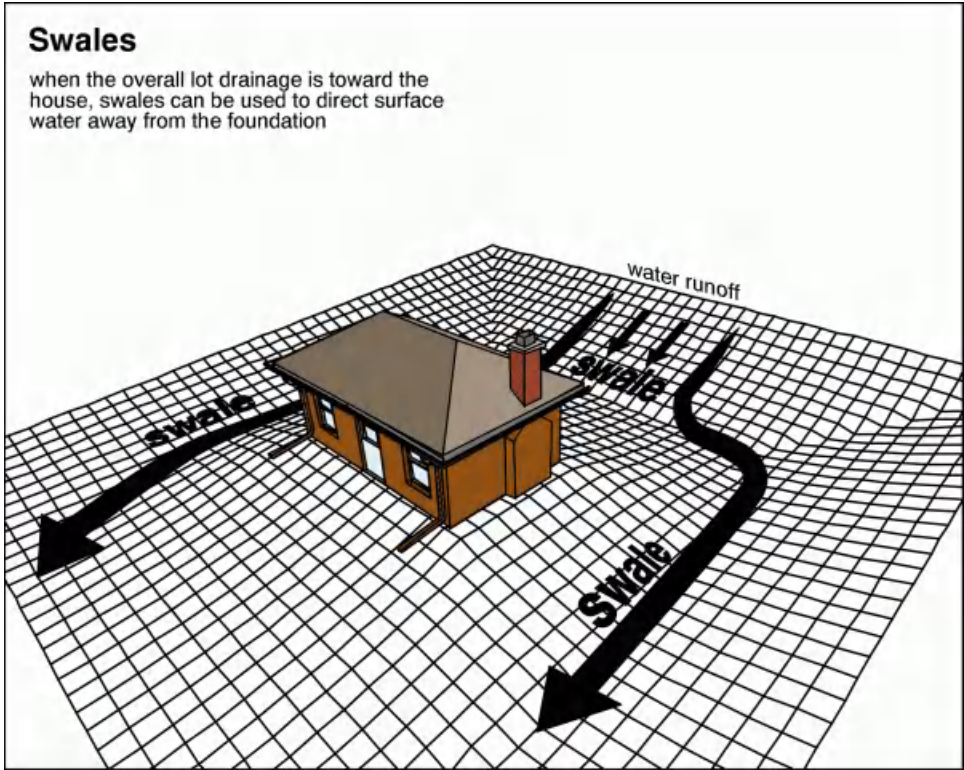
LANDSCAPING \ Walkway

23. Condition: • [Improper slope or drainage](#)

The walkway from the driveway to the front door has dropped, sagged and improperly sloped. This will need to be addressed as additional water is penetrating the foundation and is visible on the interior of the home.

Implication(s): Chance of water damage to structure, finishes and contents

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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EXTERIOR

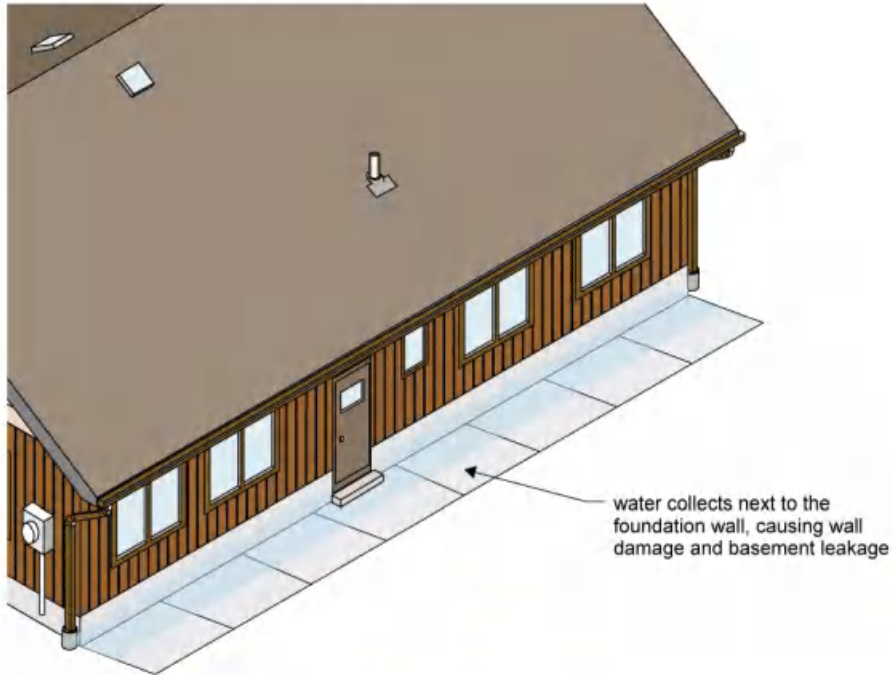
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Walk/patio sloping towards house



124. Improper slope or drainage



125. Improper slope or drainage

EXTERIOR

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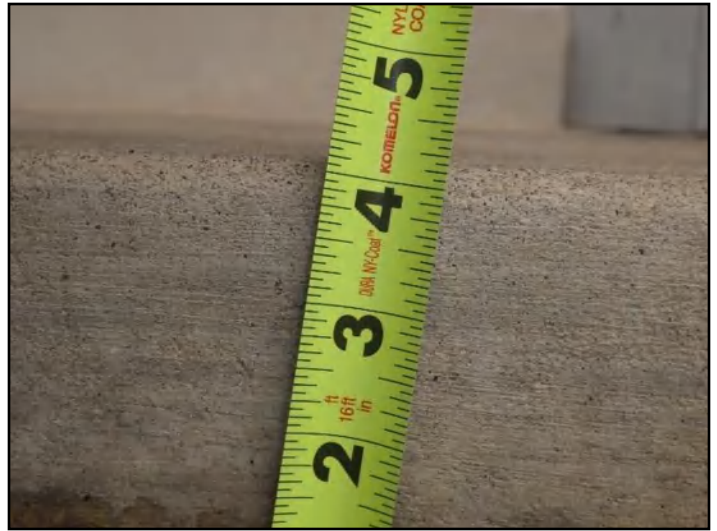
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126. Improper slope or drainage



127. Improper slope or drainage



128. Improper slope or drainage



129. Improper slope or drainage

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130. Improper slope or drainage

LANDSCAPING \ Patios

24. Condition: • Improper slope or drainage

The concrete patio in the back slopes towards the foundation as well as the steps and walk that comes from the garage. This will need to be mud-jacked or removed and replaced.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Defect - Repair Maintenance Item



131. Improper slope or drainage



132. Improper slope or drainage

EXTERIOR

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133. Improper slope or drainage



134. Improper slope or drainage



135. Improper slope or drainage

25. **Condition:** • Uneven (trip hazard)

Implication(s): Physical injury

26. **Condition:** • Unsealed gap at building

Implication(s): Chance of water damage to structure, finishes and contents

GARAGE \ Vehicle door operators

27. **Condition:** • Sensors missing

Task: Defect - Safety Issue

28. **Condition:** • Wall switch shuts power to opener because it is not on a dedicated outlet. This will need to be corrected.

Task: Defect - Safety Issue

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General Information

General: • Window wells should have at least 18" of stone in them.

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Downspout discharge: • [Above grade](#)

Lot slope: • [Towards building](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Wood](#)

Wall surfaces and trim: • [Brick](#) • [Wood](#)

Retaining wall: • No retaining wall

Driveway: • Concrete

Walkway: • Concrete

Deck: • No deck

Porch: • Concrete

Exterior steps: • No Steps

Balcony: • No balcony

Patio: • Concrete

Fence: • No fence

Garage: • Attached

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations and Recommendations

FOUNDATIONS \ General notes

29. Condition: • Dirt floor in crawl space

The dirt floor will need to be corrected due to the high radon levels in basement.

Task: Defect - Safety Issue



136. Dirt floor in crawl space

30. Condition: • Visible water on foundation wall.



137. moisture on foundation wall



138.

31. Condition: • Dirt floor in crawl space

FLOORS \ Columns or piers

32. Condition: • Improper support

Cement block on unstable soil used for supports. Remove and correct by a licensed contractor.

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Task: Defect-improper repair



139. *Improper support*



140. *Improper support*



141. *Improper support*

33. **Condition:** • Improper support

STRUCTURE

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General Information

Configuration: • [Basement](#) • [Crawlspace](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • Rafters

Inspection Methods & Limitations

Percent of foundation not visible: • 5 %

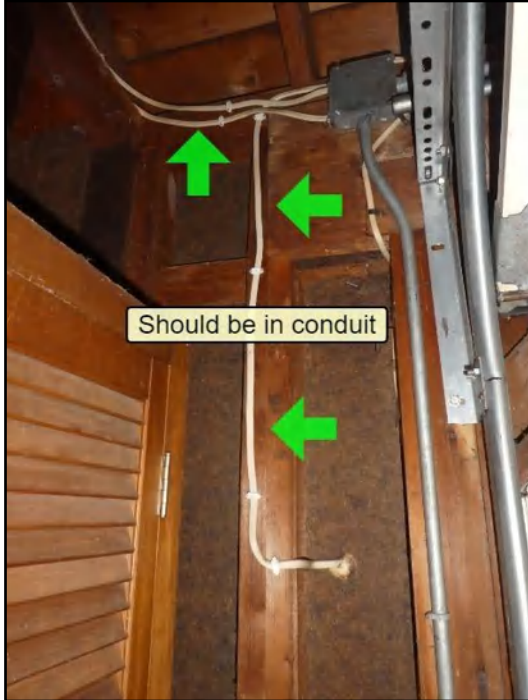
Not included as part of a building inspection: • An opinion about the adequacy of structural components

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations and Recommendations

DISTRIBUTION SYSTEM \ Wiring - installation

34. Condition: • Unprofessional work. Consult licensed electrician to correct issues.



142. Unprofessional work. Consult licensed...



143. Unprofessional work. Consult licensed...

35. Condition: • Garage door opens needs dedicated outlet

Task: Defect - Safety Issue



144. Open needs own outlet

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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General Information

Service entrance cable and location:

- [Overhead copper](#)



145. Overhead copper

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type:

- [Copper - water pipe and ground rod](#)
- [Copper - water pipe](#)

ELECTRICAL

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146. Copper - water pipe

Electrical panel manufacturers: • Square D

Number of circuits installed:

• 19



147. 19

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#) • [Copper - conduit](#) • [Aluminum - metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - garage](#)

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • None noted

Inspection Methods & Limitations

System ground: • Continuity not verified • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

HEATING

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Observations and Recommendations

GAS FURNACE \ Ducts, registers and grilles

36. Condition: • [Dirty](#)

Vents in basement need attention. The vent in the crawl space has excessive debris on the grill.

Implication(s): Increased heating and cooling costs | Reduced comfort

Task: Defect - Repair Maintenance Item



148. *Dirty vent*

37. Condition: • [Insulation missing, damaged](#)

Implication(s): Increased heating costs | Reduced comfort

38. Condition: • Ducts should be cleaned.

CHIMNEY AND VENT \ Masonry chimney

39. Condition: • Being rebuilt. The visible flue needs attention. Also the clay liner below the new one is cracked and should be replaced. A flue liner is also needed for the water heater and will need to be installed.

Task: Defect - improper repair

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149. Chimney rebuild



150. Poor flue repair



151. Chimney rebuild



152.

HEATING

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153.

FIREPLACE \ Firebox

40. Condition: • [Deteriorated, missing or loose masonry or mortar](#)

Implication(s): Hazardous combustion products entering home | Fire hazard



154. Deteriorated, missing or loose masonry or...

- SUMMARY - T
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING**
- COOLING
- INSULATION
- PLUMBING
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General Information

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• [Armstrong Air-ease](#)

Model number: AR74SMV090C15S Serial number: 5918G18411



155. Armstrong Air-ease



156. Armstrong Air-ease

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • 88,000 btu

Efficiency:

• [High-efficiency](#)

HEATING

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- ROOFING
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- COOLING
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157. High-efficiency

Exhaust venting method: • [Induced draft](#)

Combustion air source: • Outside

Approximate age: • [3 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at: • Basement

Failure probability: • [Low](#)

Supply temperature: • 100°

Return temperature: • 70°

Temperature difference: • 30

Air filter:

• 16" x 25"

16x25x1

HEATING

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158. 16" x 25"

Exhaust pipe (vent connector): • PVC plastic

Fireplace/stove:

• [Wood-burning fireplace](#)



159. Wood-burning fireplace

Chimney/vent: • [Masonry](#)

Chimney liner: • [Clay](#)

HEATING

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- Humidifiers:** • None
- Mechanical ventilation system for building:** • None
- Location of the thermostat for the heating system:** • Hallway
- Ancillary components:** • Programmable thermostat
- Condensate system:** • Condensate Pump

Inspection Methods & Limitations

- Safety devices:** • Not tested as part of a building inspection
- Heat loss calculations:** • Not done as part of a building inspection
- Heat exchanger:** • Not visible • Not accessible
- Not included as part of a building inspection:** • Interiors of vent systems, flues, and chimneys • Heat exchangers • Fireplace screens and doors • Fireplace seals and gaskets

COOLING & HEAT PUMP

2222 Sunnyslope Rd, Mequon, WI July 7, 2023

Report No. 1420

www.1stchoiceinspectionwi.com

- SUMMARY - T
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 - INSULATION
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General Information

Air conditioning type: • [Air cooled](#)

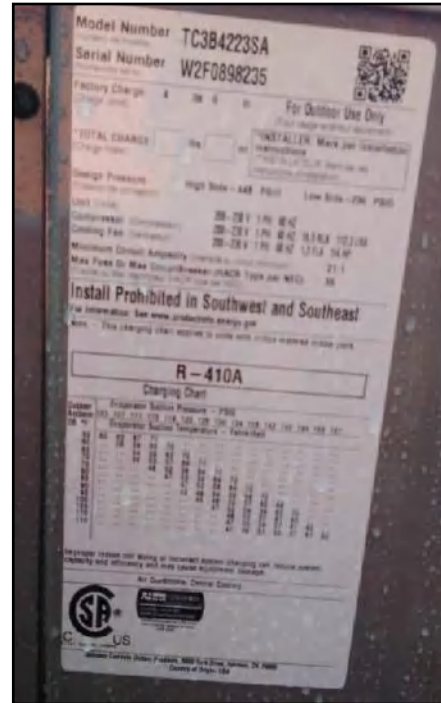
Manufacturer:

- Luxaire
- Luxaire

Model number: TC3B4223SA **Serial number:** W2F0898235



160. Luxaire



161. Luxaire

Cooling capacity: • [24,000 BTU/hr](#)

Compressor type: • Electric

Compressor approximate age: • 1 year

Typical life expectancy: • 10 to 15 years

Failure probability: • [Low](#)

Refrigerant type: • R-410A

Condensate system: • blank note

COOLING & HEAT PUMP

2222 Sunnyslope Rd, Mequon, WI July 7, 2023

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162.

Inspection Methods & Limitations

- Inspection limited/prevented by:** • Cannot verify proper operation of air filter • Cannot verify effectiveness of air filter
- Not part of a home inspection:** • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil
- Not included as part of a building inspection:** • Cooling system adequacy • Cooling system distribution balance

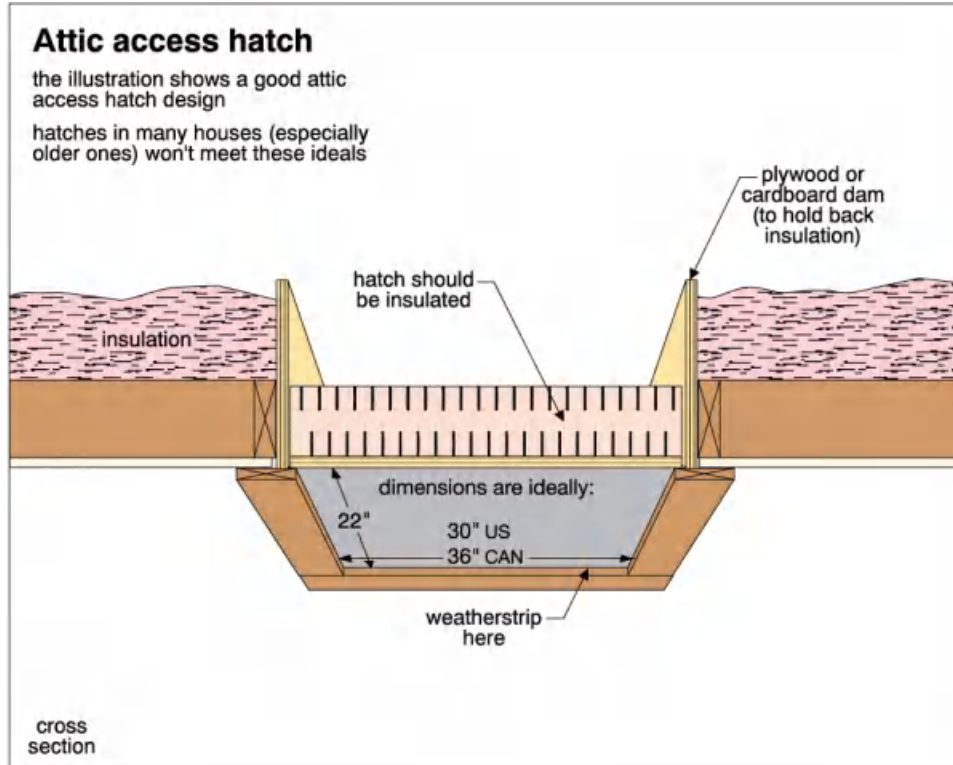
SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPENDIX	REFERENCE							

Observations and Recommendations

ATTIC/ROOF \ Hatch/Door

41. Condition: • [Not weatherstripped](#)

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs



163. Not weatherstripped

ATTIC/ROOF \ Roof vents

42. Condition: • Missing baffles

INSULATION AND VENTILATION

2222 Sunnyslope Rd, Mequon, WI July 7, 2023

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The attic is not properly breathing. Not enough intake air in to the attic. Installed baffles at the soffit vents.



164. Missing baffles



165. Missing baffles



166. Missing baffles

43. Condition: • Missing baffles

General Information

Attic/roof insulation material: • [Glass fiber](#) • [Mineral wool \(rock wool\)](#)

Attic/roof insulation amount/value: • [R-40](#)

Attic/roof air/vapor barrier: • [None found](#)

Attic/roof ventilation:

- [Roof and soffit vents](#)
- [Ridge vent](#)

INSULATION AND VENTILATION

2222 Sunnyslope Rd, Mequon, WI July 7, 2023

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SUMMARY - T

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- [Power ventilator](#)



167. Power ventilator

Mechanical ventilation system for building: • None

Inspection Methods & Limitations

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPENDIX	REFERENCE							

Observations and Recommendations

WATER HEATER \ General notes

44. Condition: • Corrosion at valve. Leaking and should be replaced.



168. Leaking valve



169. Leaking valve



170.



171. Leaking valve

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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172.

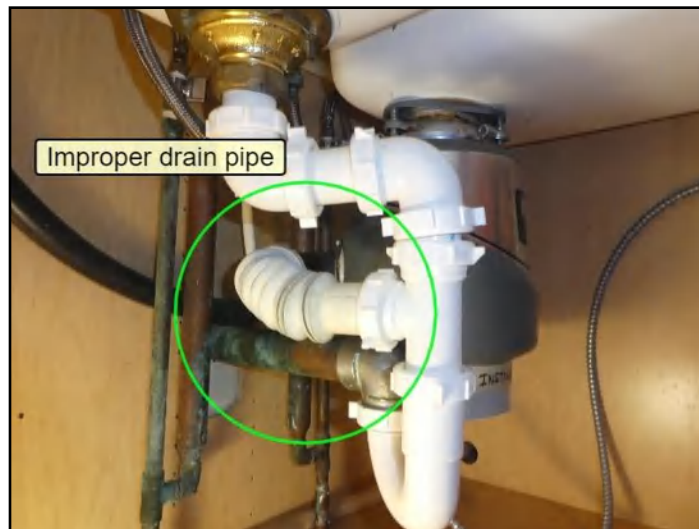
WASTE PLUMBING \ Drain piping - installation

45. Condition: • [Nonstandard materials and patches](#)

Correct by licensed plumber

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building

Task: Defect- improper installation



173. *Nonstandard materials and patches*

46. Condition: • Cast iron main stack

The lead joints on the main stack are not properly sealing the pipe. Water is able to get outside the pipe. Re-seal joints

PLUMBING

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SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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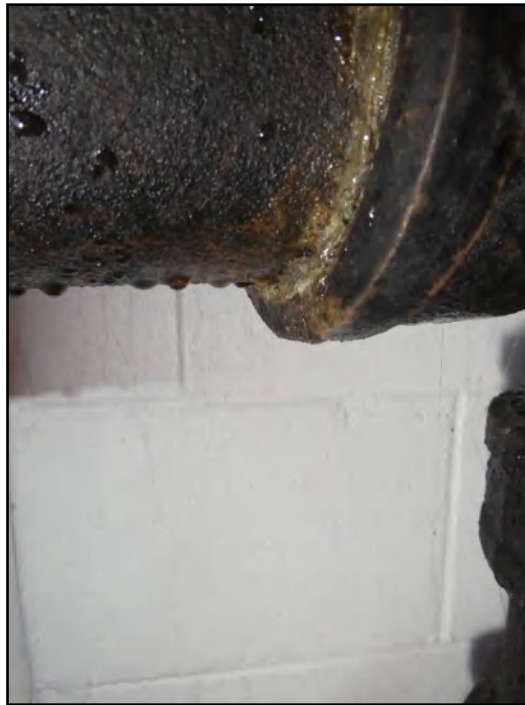
of main stack.



174. Cast iron main stack



175. Cast iron main stack

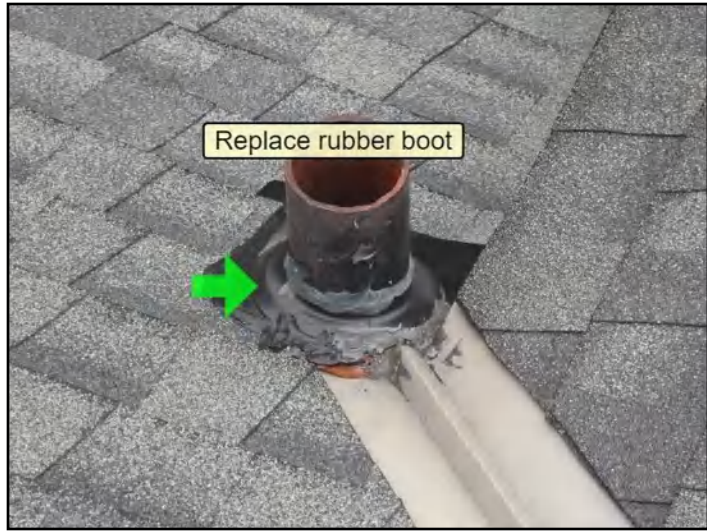


176. Cast iron main stack

WASTE PLUMBING \ Venting system

47. **Condition:** • Poor location for vent stack. Should replaced rubber boot as the repairs to rubber gasket are excessive.

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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177. Vent stack

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

48. Condition: • Missing back flow preventor



178. Missing back flow preventor

FIXTURES AND FAUCETS \ Toilet

49. Condition: • Handle damage

The toilet handle in the 1/2 bath on first floor needs to be replaced as it is damaged and does not properly flush.

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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179. Handle damage

General Information

Water supply source (based on observed evidence):

- Public



180. Public

- Private

PLUMBING

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181. Private well

Service piping into building: • [Galvanized steel](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#)

Water heater location: • Basement

Water heater fuel/energy source: • [Gas](#)

Water heater exhaust venting method: • Induced draft

Water heater manufacturer:

• Kenmore

Kenmore

Model number: 153579400 Serial number: 1713105573597

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182. Kenmore



183. Kenmore

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 4 years

Water heater typical life expectancy: • 8 to 12 years

Water heater failure probability: • [Low](#)

Hot water temperature (Generally accepted safe temp. is 120° F): • 120° F

Waste disposal system: • [Public](#)

Waste and vent piping in building:

- [PVC plastic](#)

PLUMBING

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184. PVC plastic

- [Cast iron](#)

Pumps: • [Sump pump](#)

Floor drain location: • Near laundry area

Water treatment system:

- Water softener
Kenmore



185. Water softener

PLUMBING

2222 Sunnyslope Rd, Mequon, WI July 7, 2023

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Gas piping: • Steel

Main fuel shut off valve at the: • Basement

Backwater valve:

• Not present



186. Not present

Exterior hose bibb (outdoor faucet): • Present

Inspection Methods & Limitations

Items excluded from a building inspection: • Well • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Not included as part of a building inspection: • Washing machine connections • Not readily accessible interiors of vent systems, flues, and chimneys • Wells, well pumps, and water storage related equipment • Water conditioning systems

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations and Recommendations

RECOMMENDATIONS \ General

50. Condition: • blank note



187.



188.

APPLIANCES \ Dishwasher

51. Condition: • Air gap issues

The air gap for the dish washer is not properly installed. Correct by licensed plumber.

Task: Defect - Safety Issue



189. Air gap issues

APPLIANCES \ Washing machine

52. Condition: • Missing stand pipe

Laundry tub upgrade required a wash machine stand pipe be installed. This is missing and washer should not discharge in tub.

INTERIOR

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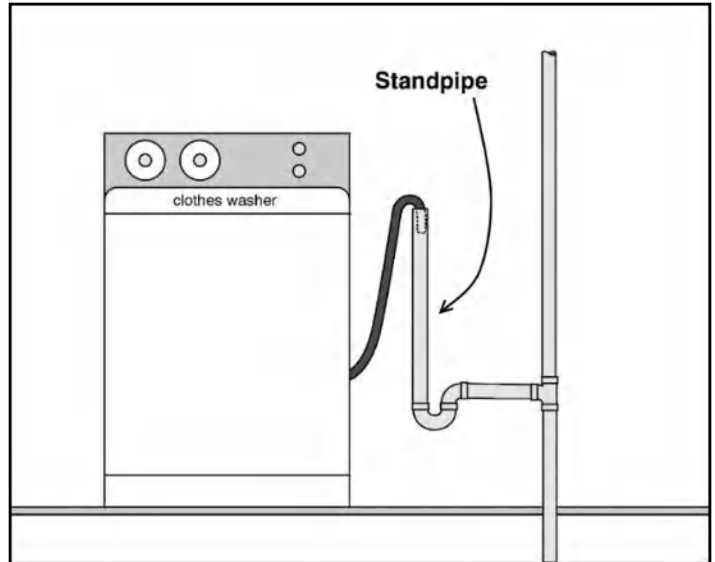
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190. Missing stand pipe



191. Missing stand pipe

General Information

Major floor finishes: • [Carpet](#) • [Hardwood](#) • Vinyl

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#)

Glazing:

- [Single](#)

Front Window



192. Single pane w/storm

- [Double](#)

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Exterior doors - type/material: • [Wood](#)

Doors: • Inspected

Evidence of basement leakage: • Dampness

Oven type: • Conventional

Range fuel: • Electricity • Gas

Appliances: • Refrigerator • Dishwasher • Microwave oven • Range

Laundry facilities: • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet

Kitchen ventilation: • Recirculating type

Bathroom ventilation: • Window

Laundry room ventilation: • Clothes dryer vented to exterior

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

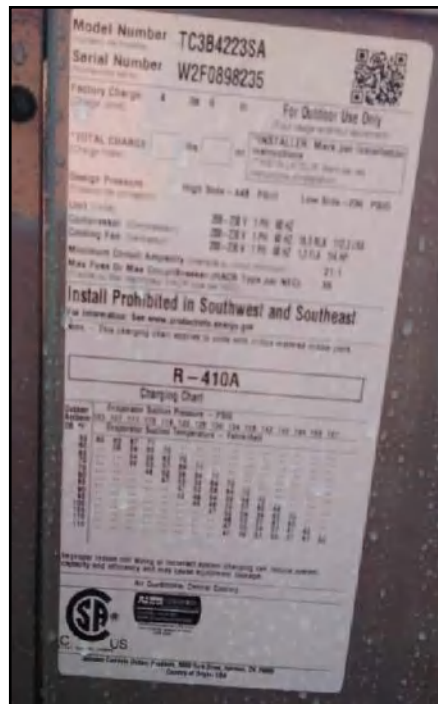
Inventory Air Conditioner:

• Luxaire

Model number: TC3B4223SA Serial number: W2F0898235



193. Luxaire



194. Luxaire

Inventory Garbage disposal (food waste grinder):

• In-sink-erator (ISE)

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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195. In-sink-erator (ISE)

Inventory Dishwasher:

- Kenmore

Kenmore
Model number: 3631479581 Serial number: af300520



196. Kenmore



197. Kenmore

Inventory Dryer:

- Kenmore

Kenmore
Model number: 79671522210 Serial number: 208KWS52981

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198. Kenmore

199. Kenmore

Inventory Furnace:

- Armstrong
- Model number: AR74SMV090C15S Serial number: 5918G18411



200. Armstrong

201. Armstrong

Inventory Garage Door Opener:

- Craftsman

INTERIOR

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202. Craftsman

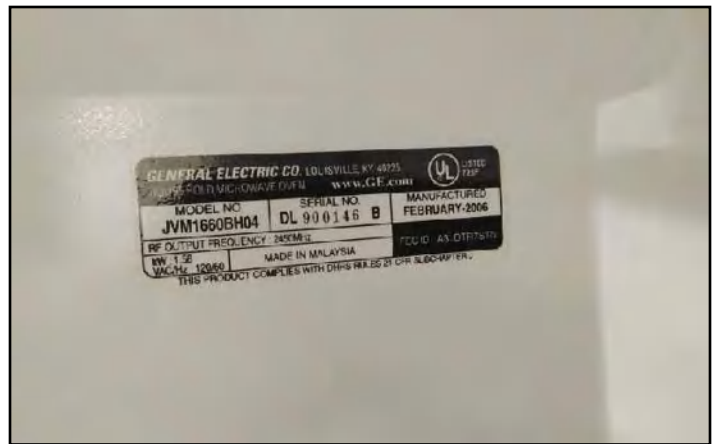
Inventory Microwave or Microwave/Rangehood:

- GE

Model number: JVM1660BH04 Serial number: DL900146B



203. GE



204. GE

Inventory Range:

- GE

Model number: JB960T0B4WW Serial number: ZZ108655Q

INTERIOR

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SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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205. GE



206. GE

Inventory Refrigerator:

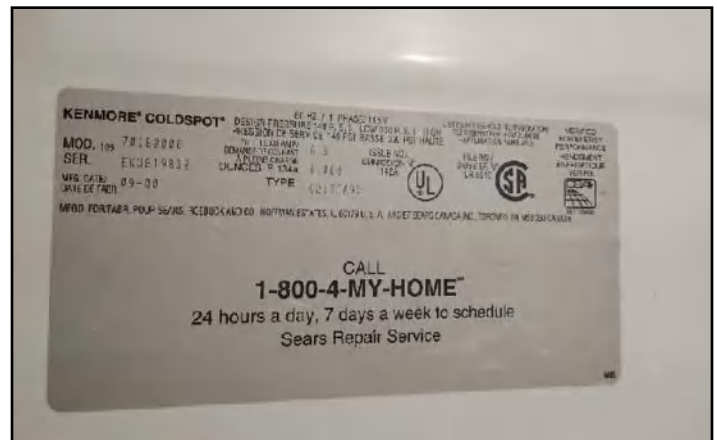
- Kenmore

Kenore

Model number: 105701E2000 Serial number: EK3E19812



207. Kenmore



208. Kenmore

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Inventory Smoke Alarm: • First Alert

Inventory Thermostat: • blank note



209.

Inventory Washing Machine:

- Kenmore
- Kenmore

Model number: 79631522210 Serial number: 208KWATA088B



210. Kenmore



211. Kenmore

Inventory Water Heater:

- Kenmore

Model number: 153579400 Serial number: 1713105573597

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212. Kenmore



213. Kenmore

Inspection Methods & Limitations

Not included as part of a building inspection:

- Cosmetic issues
- Perimeter drainage tile around foundation, if any
- Decorative items
- Aesthetics or quality of finishes
- Vermin, including wood destroying organisms.
- Environmental issues including asbestos
- Paint, wallpaper, and other finishes
- Floor coverings
- Window treatments
- Window coatings and seals between panes of glass

Cosmetics:

- No comment offered on cosmetic finishes

Appliances:

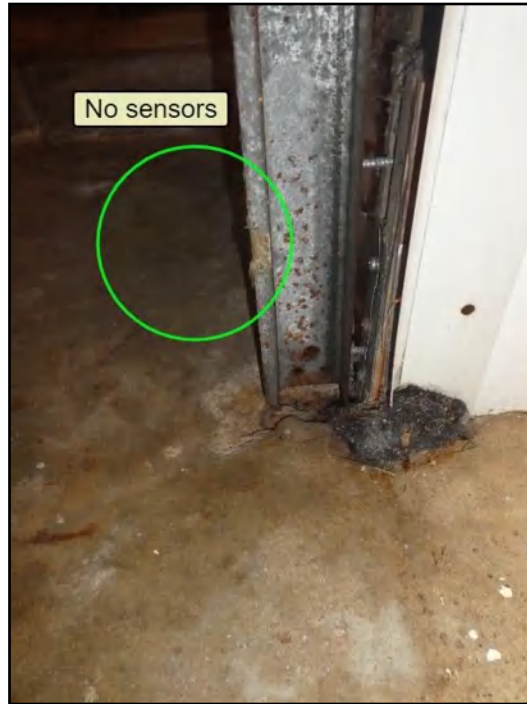
- Self-cleaning features on ovens not tested
- Effectiveness of dishwasher drying cycle not tested

Garage door:

- No issues

Garage door opener:

- No laser beams



214. No laser beams

SITE INFO

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General Information

Weather: • Light rain • It rained during the inspection.

Approximate temperature: • 68°

Attendees: • Buyer • Buyer's Agent

Access to home provided by: • Buyer's agent

Occupancy: • There was no one home during the inspection.

Utilities: • All utilities were on during the inspection.

Building type: • Tri-level

Garage, carport and outbuildings: • Attached two-car garage

Area: • Suburb

Street type: • Residential

END OF REPORT

APPENDIX

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Radon Measurement Report



COMPANY INFORMATION i

Name:	1st Choice Inspection
Phone Number:	4148039678
Email:	info@1stchoiceinspectionwi.com
Address:	1603 Rockridge Way, Waukesha, WI 53188, USA

PROPERTY INFORMATION h

Address:	1606 Rockridge Way, Waukesha, WI 53188, United States
Building Year:	1965
Ventilation Type:	Standard Makeup Air
Building Type:	House
Foundation Type:	Basement Foundation
Radon Mitigation System:	None





APPENDIX

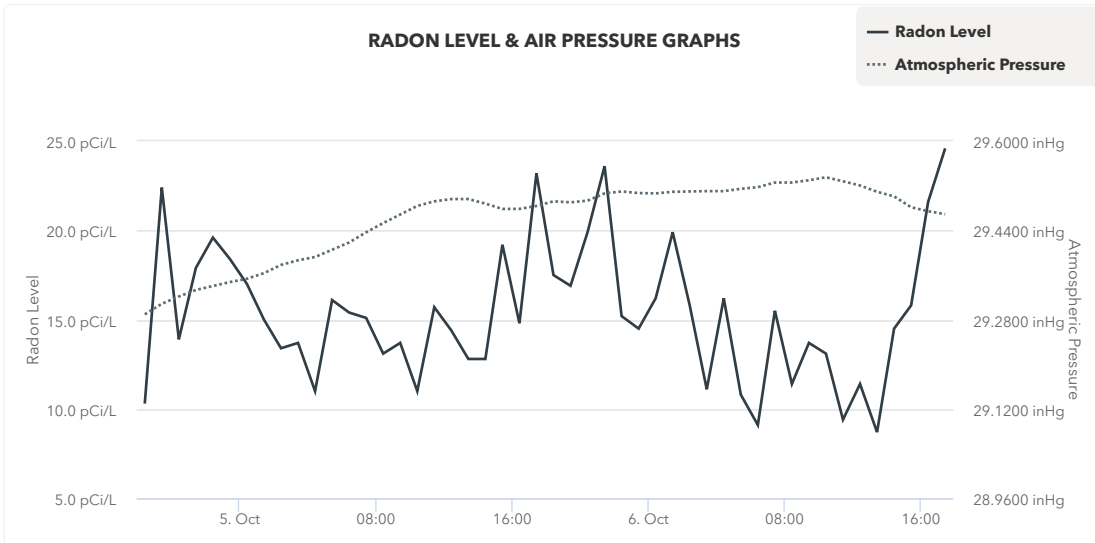
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MEASUREMENT SUMMARY			
 LEVEL OF RADON	MINIMUM 8.7 pCi/L	AVERAGE 15.3 pCi/L	MAXIMUM 24.6 pCi/L
 TEMPERATURE	MINIMUM 65.1 °F	AVERAGE 65.5 °F	MAXIMUM 73.4 °F
 HUMIDITY	MINIMUM 58.0 %rH	AVERAGE 74.4 %rH	MAXIMUM 76.5 %rH
 ATMOSPHERIC PRESSURE	MINIMUM 29.2896 inHg	AVERAGE 29.4599 inHg	MAXIMUM 29.5353 inHg



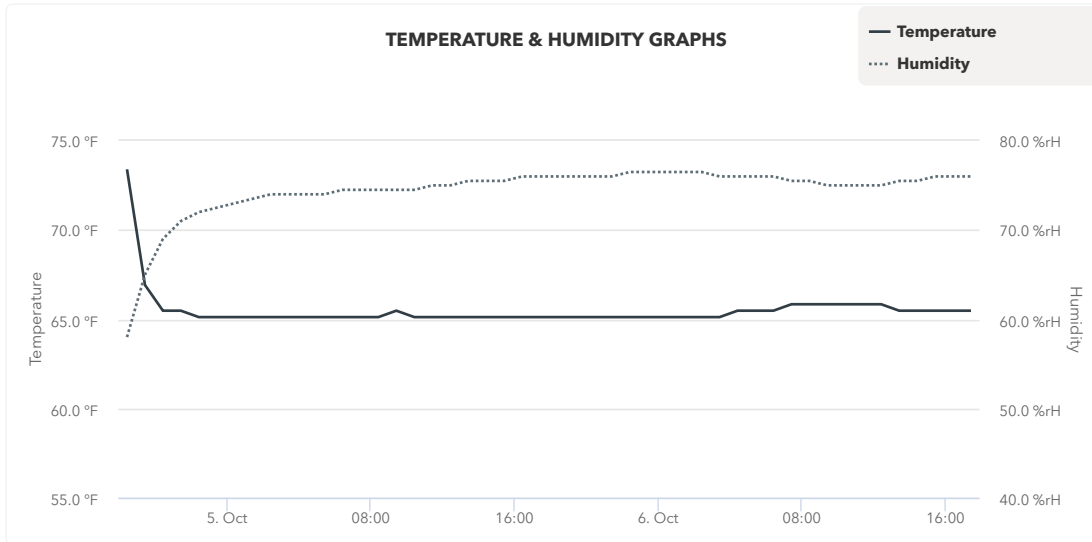
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HOURLY MEASUREMENT DATA 📄

Note : Measurements are offset by 1 hour from the start of the test. (The first hour will read 3:00 for a 2:00 start time).

	DATE & TIME	RADON	AIR PRESSURE	TEMPERATURE	HUMIDITY
1	2023-07-01, 6:25 p.m.	10.3 pCi/L	29.2896 inHg	73.4 °F	58.0 %rH
2	2023-07-01, 7:25 p.m.	22.4 pCi/L	29.3085 inHg	66.9 °F	65.0 %rH
3	2023-07-01, 8:25 p.m.	13.9 pCi/L	29.3215 inHg	65.5 °F	69.0 %rH
4	2023-07-01, 9:25 p.m.	17.9 pCi/L	29.3333 inHg	65.5 °F	71.0 %rH
5	2023-07-01, 10:25 p.m.	19.6 pCi/L	29.3404 inHg	65.1 °F	72.0 %rH
6	2023-07-01, 11:25 p.m.	18.4 pCi/L	29.3475 inHg	65.1 °F	72.5 %rH
7	2023-07-02, 12:25 a.m.	17.0 pCi/L	29.3534 inHg	65.1 °F	73.0 %rH
8	2023-07-02, 1:25 a.m.	15.0 pCi/L	29.3635 inHg	65.1 °F	73.5 %rH
9	2023-07-02, 2:25 a.m.	13.4 pCi/L	29.3782 inHg	65.1 °F	74.0 %rH
10	2023-07-02, 3:25 a.m.	13.7 pCi/L	29.3865 inHg	65.1 °F	74.0 %rH
11	2023-07-02, 4:25 a.m.	11.0 pCi/L	29.3924 inHg	65.1 °F	74.0 %rH
12	2023-07-02, 5:25 a.m.	16.1 pCi/L	29.4054 inHg	65.1 °F	74.0 %rH
13	2023-07-02, 6:25 a.m.	15.4 pCi/L	29.4184 inHg	65.1 °F	74.5 %rH
14	2023-07-02, 7:25 a.m.	15.1 pCi/L	29.4367 inHg	65.1 °F	74.5 %rH
15	2023-07-02, 8:25 a.m.	13.1 pCi/L	29.4532 inHg	65.1 °F	74.5 %rH
16	2023-07-02, 9:25 a.m.	13.7 pCi/L	29.4686 inHg	65.5 °F	74.5 %rH
17	2023-07-02, 10:25 a.m.	11.0 pCi/L	29.4839 inHg	65.1 °F	74.5 %rH
18	2023-07-02, 11:25 a.m.	15.7 pCi/L	29.4922 inHg	65.1 °F	75.0 %rH
19	2023-07-02, 12:25 p.m.	14.4 pCi/L	29.4963 inHg	65.1 °F	75.0 %rH

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20	2023-07-02, 1:25 p.m.	12.8 pCi/L	29.4963 inHg	65.1 °F	75.5 %rH
21	2023-07-02, 2:25 p.m.	12.8 pCi/L	29.4881 inHg	65.1 °F	75.5 %rH
22	2023-07-02, 3:25 p.m.	19.2 pCi/L	29.4786 inHg	65.1 °F	75.5 %rH
23	2023-07-02, 4:25 p.m.	14.8 pCi/L	29.4786 inHg	65.1 °F	76.0 %rH
24	2023-07-02, 5:25 p.m.	23.2 pCi/L	29.4839 inHg	65.1 °F	76.0 %rH
25	2023-07-02, 6:25 p.m.	17.5 pCi/L	29.4922 inHg	65.1 °F	76.0 %rH
26	2023-07-02, 7:25 p.m.	16.9 pCi/L	29.4904 inHg	65.1 °F	76.0 %rH
27	2023-07-02, 8:25 p.m.	19.9 pCi/L	29.4934 inHg	65.1 °F	76.0 %rH
28	2023-07-02, 9:25 p.m.	23.6 pCi/L	29.5064 inHg	65.1 °F	76.0 %rH
29	2023-07-02, 10:25 p.m.	15.2 pCi/L	29.5099 inHg	65.1 °F	76.5 %rH
30	2023-07-02, 11:25 p.m.	14.5 pCi/L	29.5070 inHg	65.1 °F	76.5 %rH
31	2023-07-03, 12:25 a.m.	16.2 pCi/L	29.5064 inHg	65.1 °F	76.5 %rH
32	2023-07-03, 1:25 a.m.	19.9 pCi/L	29.5093 inHg	65.1 °F	76.5 %rH
33	2023-07-03, 2:25 a.m.	15.8 pCi/L	29.5099 inHg	65.1 °F	76.5 %rH
34	2023-07-03, 3:25 a.m.	11.1 pCi/L	29.5105 inHg	65.1 °F	76.0 %rH
35	2023-07-03, 4:25 a.m.	16.2 pCi/L	29.5105 inHg	65.5 °F	76.0 %rH
36	2023-07-03, 5:25 a.m.	10.8 pCi/L	29.5146 inHg	65.5 °F	76.0 %rH
37	2023-07-03, 6:25 a.m.	9.1 pCi/L	29.5176 inHg	65.5 °F	76.0 %rH
38	2023-07-03, 7:25 a.m.	15.5 pCi/L	29.5259 inHg	65.8 °F	75.5 %rH
39	2023-07-03, 8:25 a.m.	11.4 pCi/L	29.5259 inHg	65.8 °F	75.5 %rH
40	2023-07-03, 9:25 a.m.	13.7 pCi/L	29.5300 inHg	65.8 °F	75.0 %rH
41	2023-07-03, 10:25 a.m.	13.1 pCi/L	29.5353 inHg	65.8 °F	75.0 %rH
42	2023-07-03, 11:25 a.m.	9.4 pCi/L	29.5282 inHg	65.8 °F	75.0 %rH
43	2023-07-03, 12:25 p.m.	11.4 pCi/L	29.5206 inHg	65.8 °F	75.0 %rH
44	2023-07-03, 1:25 p.m.	8.7 pCi/L	29.5093 inHg	65.5 °F	75.5 %rH
45	2023-07-03, 2:25 p.m.	14.5 pCi/L	29.5011 inHg	65.5 °F	75.5 %rH
46	2023-07-03, 3:25 p.m.	15.8 pCi/L	29.4816 inHg	65.5 °F	76.0 %rH
47	2023-07-03, 4:25 p.m.	21.6 pCi/L	29.4745 inHg	65.5 °F	76.0 %rH
48	2023-07-03, 5:25 p.m.	24.6 pCi/L	29.4692 inHg	65.5 °F	76.0 %rH

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TEST INFORMATION

Average Radon Level:	15.3 pCi/L
Dataset Name	Mequon
Start Date:	July 1, 2023, 5:25 p.m.
End Date:	July. 3, 2023, 5:25 p.m. 48h
Measurement Duration:	Basement
Floor/Level:	Basement
Room:	No comments documented.
Comment:	

Recommended Actions

≥4.0 pCi/L - W/O MITIGATION SYSTEM

The average measured radon level is at or above the Environmental Protection Agency (EPA) Action Level of 4.0 pCi/L. The EPA recommends having a radon mitigation system installed to reduce the concentration of indoor radon. Retest the building at least 24 hours but within 30 days after the system has been installed and running. The EPA recommends having the building retested at least once every 2 years to ensure the system remains effective. Performing follow-up tests during the heating season is recommended since this is when radon levels tend to be the highest. A 12-month long test, or continuous monitoring, will most accurately reflect radon exposure throughout the year.

TIME REPORT WAS GENERATED

Unique Report ID:	2700007652-2021-10-04T23:25:13Z
Date Report Was Generated:	2023-07-07
Time:	2:55 a.m.

RADON PROFESSIONAL INFORMATION

Name:	Michael Schwitzer
Email address:	info@1stchoiceinspectionwi.com
Phone number:	4148039678

APPENDIX

2222 Sunnyslope Rd, Mequon, WI July 7, 2023

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STATEMENT OF LIMITATIONS

There is an uncertainty with any radon measurement result due to statistical variations in radiation, and other factors such as conditions which change daily and seasonally which can cause variations in indoor radon levels. These conditions can change based on the weather, the use or disuse of appliances, systems, and components of the structure, tampering with the radon test, or failure to comply with the closed-building conditions necessary for a valid radon measurement result.

ADDITIONAL RADON INFORMATION

For further information regarding your radon measurement report, radon exposure risk, a radon professional, or to obtain a list of certified radon measurement and mitigation professionals in your area, contact your jurisdiction's Department of Health.

RADON PROFESSIONAL'S SIGNATURE

This report is certified by Michael Schwitzer.

Michael Schwitzer

Electronic Signature

2023-07-07
Mequon

SUMMARY - T	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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MasterGuard Pest Control, Inc. - Pest Library



Bed Bugs

Bed bugs are parasitic insects of the cimicid family that feed exclusively on blood. Bed bugs can cause a number of health effects, including skin rashes, psychological effects, and allergic symptoms. Bed bugs are elusive and usually nocturnal, which can make their detection difficult. Adult bed bugs are light brown to reddish-brown, flattened, oval-shaped and have no hind wings.



Wasps and Yellow Jackets

Yellow jackets have a lance-like stinger with small barbs, and typically sting repeatedly, though occasionally the stinger becomes lodged and pulls free of the wasp's body. The venom, like most wasp and yellowjacket venoms, is primarily only dangerous to humans if allergic, unless a victim is stung many times.



Box Elder Bugs

Box Elder Bugs are especially a problem during the cooler months, when box elder bugs sometimes invade houses and other man-made structures seeking warmth or a place to overwinter. They remain inactive inside the walls (and behind siding) while the weather is cool. When the heating systems revive them, some box elder bugs may perceive it to be spring and enter your home in search of food and water.



Ants

Some ant species are considered pests, and because of the adaptive nature of ant colonies, eliminating the entire colony is nearly impossible. Therefore pest management is a matter of controlling local populations, instead of eliminating an entire colony. Severe allergic reactions can be caused by ant stings in particular and venomous stings in general, including severe chest pain, nausea, severe sweating, loss of breath, serious swelling, and slurred speech; they can be fatal if not treated.



Spiders

Most spiders will only bite humans in self-defense. Most of those with medically serious bites, such as recluse spiders and widow spiders, are shy and bite only when they feel threatened, although this can easily arise by accident. Funnel web spiders' defensive tactics are aggressive and their venom, although they rarely inject much, has resulted in 13 known human deaths.



Rodents

The house mouse is a small rodent, a mouse, one of the most numerous species. Although a wild animal, the house mouse mainly lives associated with humans, causing damage to crops and stored food. House mice can transmit diseases, and can damage food and food packaging. Some of the diseases the house mouse carries can be deadly.

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Voles

A vole is a small rodent resembling a mouse but with a stouter body, a shorter, hairy tail, a slightly rounder head, smaller ears and eyes, and differently formed molars. Since voles will commonly use burrows with many exit holes, they can be mistaken for gophers or some kind of ground squirrel. Voles will often eat succulent root systems and will burrow under plants or ground cover and eat away until the plant is dead.



Centipedes

The name Centipede is derived from the Latin prefix “centi” meaning “hundred” and “pedere” meaning “foot.” Centipedes are known for their elongated, segmented bodies, each with a pair of legs for every body segment possibly having up to 150 body segments, or 300 legs! Their size ranges from anywhere between a few millimeters to a foot in length in the larger species. Centipedes are generally of a dull reddish brown coloring though their tropical relatives are often brighter.



Millipedes

While millipedes certainly look like centipedes in many ways, the millipede has two pair of legs for each segment of their bodies instead of one. A millipedes body is also more cylindrical than a centipedes, but they can also be of a flat body type too. In addition, certain millipede species known as pill millipedes are capable of rolling into a ball in defense, though most species can secrete a foul smelling liquid to ward off danger.



Ticks & Fleas

Ticks are known as ectoparasites or external parasites because they live off the blood of other mammals, birds or reptiles doing their work from outside of the host body. A tick will extract blood through the hosts skin by piercing it, then excreting an anticoagulant into the wound while it feeds. As blood is the primary diet for ticks, without a host to feed off, the tick will die rather quickly. Rather than seeking out a host, ticks will ready themselves into a “questing” pose with their front legs outstretched, ready to grab onto a suitable host as it moves by. Once contact has been made, the tick will start feeding within 10 minutes to a couple hours after.



Silverfish

The Silverfish, sometimes known as Fishmoths get their name from the silver, blue metallic coloring along with their fish-like attributes. The female silverfish can lay up to 60 eggs at once but lay less than 100 total in their lifetime. Silverfish also reproduce very quickly; eggs can take as little as two weeks to as long as 2 months to hatch, requiring silverfish infestations to be addressed immediately.



Cockroaches

Cockroaches (Phylum Anthropoda) are the most notorious insect when it comes to being considered a pest. Though the cockroach is hardly an aggressive insect, their ability to infest and consume resources is cause enough for their immediate removal once a cockroach has been detected. Did you know there are over 3,5000 cockroach species?



Moles

Moles are small subterranean mammals with short but powerful front limbs meant for digging and tunneling. While moles aren't a threat to humans directly, moles can ruin crops, gardens and other landscapes by bringing weeds or other contaminants into the soil. In addition, moles can damage root systems and damage or reroute water drainage systems effectively killing surrounding plants.

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HOME SET-UP AND MAINTENANCE

Introduction

When moving into a home, there are some things to take care of. The **Home Set-up** deals with things that are done just once. The **Home Maintenance Program** deals with regular activities.

Home Set-up

1. **Gutters and Grading** – Make sure gutters (eavestroughs) are clear and the ground around the home slopes down away from the home to help keep the basement or crawlspace dry.
2. **Locks** – Change the locks on all the doors. Deadbolts improve security and may reduce insurance costs.
3. **Smoke Detectors** – Install or replace as needed. Usually, one is required on every floor level, near the sleeping areas. Smoke detectors should be replaced every 10 years, and it is difficult to know how old the existing smoke detectors are. We recommend replacing them all. We strongly recommend **photoelectric** rather than ionization type detectors.
4. **Carbon Monoxide Detectors** – Provide according to manufacturer’s recommendations and local requirements, typically near every sleeping area.
5. **Electrical Circuits** – Label the circuits in the electrical panel, so you can shut off the right fuse or breaker quickly. If the panel is already labelled, verify that the labelling is correct.
6. **Heating and Air-Conditioning Systems** – Have these inspected and serviced. We recommend setting up a service contract to ensure the equipment is properly maintained. It makes sense to protect your investment in these expensive systems.
7. **Duct Cleaning** – This should be done shortly after moving in, and again after renovations. With a properly maintained air filtration system, duct cleaning is not required on a regular basis.
8. **Wood Burning Appliances** – Have the chimney inspected and swept before using.
9. **Main Shutoffs** – Find and mark the main shutoff for the heating, electrical and plumbing systems. You need to be able to shut things off quickly in an emergency.
10. **Well Water** – If the home is on a private water system, the well water should be tested by sending a sample to a lab. Some municipalities have a testing program in place. After this initial test, water quality should be tested at least 3 times every year.
11. **Backwater Valve** – If the home is on a municipal sewage system, inspect the backwater valve to prevent sewage backup. If the home does not have a backwater valve, consider installing one. Municipal grants and/or home insurance discounts may be available.
12. **Septic System** – If the home is on a private sewage system, a specialist should inspect the system. Septic systems need to be pumped out every 3 to 5 years.
13. **Sump Pump** – Test to make sure it will operate when needed. Consider installing a secondary pump with backup power supply for use in case of power outage. A highwater level alarm should also be considered.

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- 14. **Clothes Washing Machines, Dishwashers, Refrigerators** – Use braided steel hoses rather than rubber hoses for connecting the supply piping. This reduces the risk of flooding due to a ruptured hose.
- 15. **Clothes Dryers** – Use smooth walled (not corrugated foil or plastic) metal exhaust ducts to vent dryers outdoors. Keep the runs as short and straight as possible.
- 16. **Fire Extinguishers** – Provide at least one on every floor. The fire extinguisher near the kitchen should be suitable for grease fires.
- 17. **Fire Escape Routes** – Plan fire escape routes from the upper stories. Obtain rope ladders if necessary.

HOME MAINTENANCE PROGRAM

Good maintenance protects your investment, enhances comfort, extends life expectancies and reduces your costs. It makes great sense. Some homeowners do the maintenance themselves, and others get help with it.

SPRING – HOME MAINTENANCE PROGRAM

- 1. **Gutters (Eavestroughs)** – Clean to extend their life and keep the basement/crawlspace dry.
- 2. **Window Wells** – Clean debris to ensure proper drainage. Install covers if necessary.
- 3. **Catch Basins** – Ensure the storm sewer, ditch, culvert or catch basin outside the home is clear to help avoid flooding.
- 4. **Railings** – Check that railings on stairs, around openings and on decks are secure and in good condition
- 5. **Sliding Doors and Windows** – Clean tracks and make sure drain holes are open to reduce the risk of water damage in the home.
- 6. **Garage Door Operator** – Test the auto-reverse mechanism - it should reverse when it meets reasonable resistance or if the “photo-eye” beam is broken (some say test monthly). Lubricate to ensure the operator works freely and minimize the load on the electric motor.
- 7. **Garage Door Hardware** – Lubricate to ensure the door moves freely.
- 8. **Lawn Irrigation System** – Turn on and inspect the system for leaks and proper operation. Adjust sprinkler heads if needed.
- 9. **Smoke Detectors/Alarms** – Test to make sure they work in the event of a fire (some say test monthly).
- 10. **Carbon Monoxide Detectors/Alarms** – Test to make sure they work in the event of an appliance malfunction (some say test monthly).
- 11. **Ground Fault Circuit Interrupters and Arc Fault Circuit Interrupters** – Test to make sure they work if there is an electrical problem (some say test monthly).
- 12. **Backup Generator** – Test (unless unit automatically runs self-test)
- 13. **Filters/Air Cleaners on Heating and Air-Conditioning Systems and Heat Recovery Ventilator (if applicable)** – Clean or replace to reduce heating costs, improve comfort and protect the equipment (some say check monthly).

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14. **Air Conditioning System** – Have it serviced before turning it on to maximize life expectancy and reduce operating costs. Make sure there is at least 3 feet clear around the exterior unit. Cut back trees and shrubs as needed.
15. **Return Air Grilles** – Open high returns and close low returns in each room to maximize comfort.
16. **Humidifier** – Turn off and shut off the water so we don't add humidity in the summer.
17. **Humidifiers Connected to Furnace** – Close the damper on the humidifier bypass on the furnace to avoid short-circuiting the air-conditioning system.
18. **Outdoor Hose Bibbs (Faucets)** – Turn on water supply inside the home (unless faucets are the frost-free type) to allow use.
19. **Floor Drains** – Check that there is water in the traps to prevent sewer odors from getting into the home.
20. **Sump Pump** – Test to make sure it will operate when needed, to avoid flooding.
21. **Well Water** – Have well water tested by laboratory to ensure the water is safe to drink (more frequent testing may be appropriate).
22. **Range Hood Filters** – Clean to maintain efficiency, reduce energy costs and minimize the risk of grease fires (some say check monthly). Check that the dampers open when the fan is on and close when it is off.
23. **Central vacuum system** – Empty canister and clean filter (if applicable) so system will work effectively (may need to be done more frequently)
24. **Dishwasher** – Clean the drain filter (may need to be done more frequently).

SUMMER – HOME MAINTENANCE PROGRAM

1. **Roofing** – Perform annual inspection and tune-up of roof coverings and flashings. This helps prevent leaks and maximizes the life of the roof. This is often performed by a roofer on an annual service agreement.
2. **Building Exterior** – inspect for weather tightness at siding, trim, doors, windows, wall penetrations, etc. to prevent concealed water damage.
3. **Exterior Paint and Stain** – Check and improve as needed to prevent rot in exterior wood. Pay attention to wood close to the ground. Wood in contact with soil is prone to rot.
4. **Exterior Grade** – Check that the ground slopes down away from the building. This helps prevent wet basement and crawlspace problems.
5. **Garage Door Operator** – Test the auto-reverse mechanism - it should reverse when it meets reasonable resistance or if the "photo-eye" beam is broken (some say test monthly).
6. **Trees and Shrubs** – Trim back at least 3 feet from air-conditioning to allow the air-conditioning to work properly.
7. **Trees and shrubs** – Trim back from walls and roofs to prevent damage caused by branches rubbing against the building and to reduce the risk of pests getting into the home.
8. **Vines** – Trim away from wood building components. Do not allow vines to grow in gutters (eavestroughs) or on roof.

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9. **Attic** – Check for evidence of pests, mold and roof leaks to prevent infestations and damage.
10. **Smoke Detectors/Alarms** – Test to make sure they work in the event of a fire (some say test monthly).
11. **Carbon Monoxide Detectors/Alarms** – Test to make sure they work in the event of an appliance malfunction (some say test monthly).
12. **Ground Fault Circuit Interrupters and Arc Fault Circuit Interrupters** – Test to make sure they work if there is an electrical problem (some say test monthly).
13. **Electrical Cords** – Check for wear and fraying
14. **Chimneys for Fireplaces and other Wood-Burning Appliances** – Have inspected and swept as necessary to reduce the risk of a chimney fire.
15. **Filters/Air Cleaners on Heating and Air-Conditioning System and Heat Recovery Ventilator (if applicable)** – Clean or replace to reduce heating costs, improve comfort and protect the equipment (some say check monthly).
16. **Backwater Valve** – Inspect to prevent municipal sewage backup into home.
17. **Well Water** – Have well water tested by laboratory to ensure the water is safe to drink (more frequent testing may be appropriate).
18. **Range Hood Filters** – Clean to maintain efficiency, reduce energy costs and minimize the risk of grease fires (some say check monthly). Check that the dampers open when the fan is on and close when it is off.
19. **Bathroom Exhaust Fan** – Clean grille to ensure good air flow.
20. **Central Vacuum System** – Empty canister and clean filter (if applicable) so system will work effectively (may need to be done more frequently).
21. **Dishwasher** – Clean the drain filter (may need to be done more frequently).

FALL – HOME MAINTENANCE PROGRAM

1. **Gutters (Eavestroughs)** – Clean to extend their life and keep the basement/crawlspace dry.
2. **Window Wells** – Clean debris to ensure proper drainage. Install covers if necessary.
3. **Catch Basins** – Ensure the storm sewer, ditch, culvert or catch basin outside the home is clear to help avoid flooding.
4. **Lawn Irrigation System** – Turn off and drain the system to prevent pipe damage due to freezing.
5. **Exterior Vents** – Ensure vent flaps close properly to reduce heat loss and prevent pest entry.
6. **Garage Door Operator** – Test the auto-reverse mechanism - it should reverse when it meets reasonable resistance or if the “photo-eye” beam is broken (some say test monthly).
7. **Smoke Detectors/Alarms** – Test to make sure they work in the event of a fire (some say test monthly).

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8. **Carbon Monoxide Detectors/Alarms** – Test to make sure they work in the event of an appliance malfunction (some say test monthly).
9. **Ground Fault Circuit Interrupters and Arc Fault Circuit Interrupters** – Test to make sure they work if there is an electrical problem (some say test monthly).
10. **Backup Generator** – Test (unless unit automatically runs self-test)
11. **Heating System** – Service before turning on to maximize safety, life expectancy, and to reduce costs.
12. **Return Air Grilles** – Close high returns and open low returns in each room.
13. **Filters/Air Cleaners on Heating and Air-Conditioning System and Heat Recovery Ventilator (if applicable)** – Clean or replace to reduce heating costs, improve comfort and protect the equipment (some say check monthly)
14. **Gas Fireplace** – Service with other gas appliances; include the fireplace in your service plan.
15. **Outdoor Hose Bibbs (Faucets)** – Shut off water supply inside the home (unless they are the frost-free type) to prevent freezing, damage to pipes and flooding.
16. **Hot Water Heating Systems** – Bleed radiators to remove air so the radiators will keep the house warm.
17. **Hot Water Heating Systems** – Lubricate the circulating pump as needed to extend its life (some do not require lubrication).
18. **Humidifier** – Turn on and open the water supply so that the humidifier will work in the heating season.
19. **Humidifiers connected to Furnace** – Open the damper on the humidifier bypass on the furnace to allow the humidifier to work in the heating season.
20. **Electric Baseboard Heaters** – Vacuum to remove dust to increase the efficiency and reduce the risk of fire.
21. **Well Water** – Have well water tested by laboratory to ensure the water is safe to drink (more frequent testing may be appropriate).
22. **Sump Pump** – Test to make sure it will operate when needed, to avoid flooding.
23. **Floor Drains** – Check that there is water in the traps to prevent sewer odors from getting into the home.
24. **Range Hood Filters** – Clean to maintain efficiency, reduce energy costs and minimize the risk of grease fires (some say check monthly). Check that the dampers open when the fan is on and close when it is off.
25. **Dishwasher** – Clean the drain filter (may need to be done more frequently).
26. **Central Vacuum System** – Empty canister and clean filter (if applicable) so system will work effectively (may need to be done more frequently).

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WINTER – HOME MAINTENANCE PROGRAM

1. **Garage Door Operator** – Test the auto-reverse mechanism - it should reverse when it meets reasonable resistance or if the “photo-eye” beam is broken (some say test monthly).
2. **Electrical Cords** – Check for wear and fraying.
3. **Smoke Detectors/Alarms** – Test to make sure they work in the event of a fire (some say test monthly).
4. **Carbon Monoxide Detectors/Alarms** – Test to make sure they work in the event of an appliance malfunction (some say test monthly).
5. **Ground Fault Circuit Interrupters and Arc Fault Circuit Interrupters** – Test to make sure they work if there is an electrical problem (some say test monthly).
6. **Filters/Air Cleaners on Heating and Air-Conditioning System and Heat Recovery Ventilator (if applicable)** – Clean or replace to reduce heating costs, improve comfort and protect the equipment (some say check monthly).
7. **Water Heater** – Drain sediment from the tank to optimize performance and reduce costs. Have tankless water heaters flushed by a specialist to maximize performance and life expectancy.
8. **Backwater Valve** – Inspect to prevent municipal sewage backup into home.
9. **Bathtub and Shower Enclosures** – Check caulking and grout to prevent concealed water damage.
10. **Drains** – Clean sink, bathtub, and shower drains.
11. **Bathroom Exhaust Fan** – Clean grill to ensure good air flow.
12. **Range Hood Filters** – Clean to maintain efficiency, reduce energy costs and minimize the risk of grease fires (some say check monthly). Check that the dampers open when the fan is on and close when it is off.
13. **Dishwasher** – Clean the drain filter (may need to be done more frequently).
14. **Clothes Dryer Duct** – Have a specialist check and clean if necessary, to improve efficiency, reduce costs and reduce the risk of fire.
15. **Central Vacuum System** – Empty canister and clean filter (if applicable) so system will work effectively (may need to be done more frequently).
16. **Refrigerators and Freezers** – Vacuum coils (if accessible at rear) to improve efficiency and reduce costs.
17. **Fire Extinguishers** – Check gauges to make sure they will operate if needed.

REFERENCE LIBRARY

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

